



Henry J Lyons

**Kilmoney Road, Carrigaline**

Strategic Housing Development

Housing Quality Assessment

May 2022



**Housing Quality Assessment** submitted with the Planning Application for:

Strategic Housing Development at Carrigaline, Kilmoney Road on behalf of Reside Investments Ltd.

Prepared by:

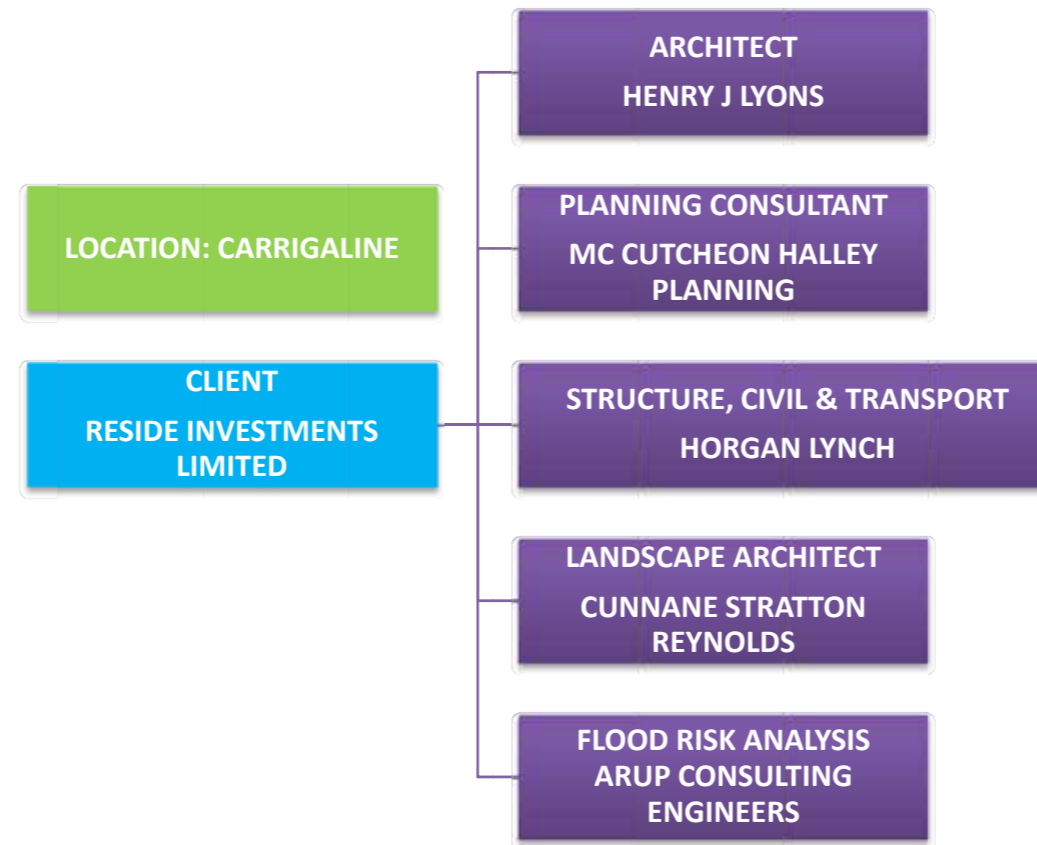
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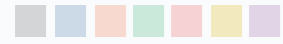


# Henry J Lyons



# ARUP

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# 1.0 EXECUTIVE SUMMARY



This Housing Quality Assessment forms part of a planning submission for a proposed strategic housing development at Kilmoney Road Lower, Carrigaline.

The purpose of this document is to assess the residential standards of the proposed development against the provisions of the Sustainable Urban Housing Standards for New Apartments set out by the government and is intended to be read in conjunction with all other supporting documentation.

The proposed development will comply with the Cork County Development Plan's zoning objective of County Metropolitan Cork Strategic Planning Area

## Key Features

The development is designed to be compliant with the following:

1. Sustainable Urban Housing: Design Standards for New Apartments
2. Cork County Development Plan 2014-2021

Key deliverables on these policies which the proposed scheme will deliver include the following:

- Provisions of optimum quality accommodation providing 224 residential apartments. This will aid in the town's demand for housing within the growing commuter town.
- Provision of mixed use development to aid in the viability of the scheme within a town centre location. Retail units, community spaces, communal residential facilities will create an active street frontage along the development.
- The external public podium and large public amenity park will aid in connecting the surrounding public spaces in the area and promote connectivity through the site.

The Development also takes guidance from the following documentation:

- Sustainable Urban Housing: Design Standards for New Apartments (2020)
- Best practice guidelines Quality Housing for Sustainable Communities (2007)
- Design Manual for Urban Roads and Streets (DMURS) (2013)

As part of the wider development of the town centre of Carrigaline, in keeping with the Cork County Development Plan, this development will provide much needed residential accommodation in an ever growing commuter town.

## **DEVELOPMENT INFORMATION**

**SITE AREA | 30,701 sq m/ 3 HA**

**TOTAL NUMBER OF UNITS | 224**

**DENSITY | 118 UNITS PER HA**

**1 BED UNITS | 101 NO. | 45%**

**2 BED UNITS | 111 NO. | 49%**

**3 BED UNITS | 12 NO. | 6%**

**CAR SPACES | 255**

**CYCLE SPACES | 503**

# 1.0 EXECUTIVE SUMMARY



The proposed development site is a greenfield property that lies to the west of the current main street of Carrigaline, and just south of the river Owenabue. The site is approximately 3 hectares with sloped topography that runs from Kilmoney road in the South, down to the rivers edge on the North.

The proposed development will provide 224 residential units in total, 202 across two apartment blocks with a further 22 units located in townhouse style apartments. The proposed buildings will comprise of:

- 94 no. 1 bed apartments
- 18 no. 2 bed (3 person) apartments
- 78 no. 2 bed (4 person) apartments
- 12 no. 3 bed apartments

The proposed will consist of resident services and amenities (resident lounge, work space, gym, communal courtyards) as well as a number of retail units that will serve the wider town and bring active connections to the scheme.

A large expanse of parkland will also be developed to the North for the enjoyment of the residents of the development along with the wider community of Carrigaline.

The total site area proposed is 30701sqm.



Site Location Map

## 2.0 POLICY OVERVIEW



This Housing Quality Assessment provides a framework which qualifies each of the criteria required by the 'Sustainable Urban Housing: Design Standards for New Apartments Guidelines for Planning Authorities' against the proposed development.

The 'Sustainable Urban Housing: Design Standards for New Apartments Guidelines for Planning Authorities' specify planning policy requirements for:

- Apartment Floor Areas
- Dual Aspect Ratios
- Floor to Ceiling Height
- Lift and Stair Cores
- Internal Storage
- Private Amenity Space
- Security Considerations

The guidelines have been issued by the Minister for Housing, Planning and Local Government under section 28 of the Planning and Development Act 2000 (as amended). Planning authorities and An Bord Pleanála are required to have regards to the guidelines and are also required to apply any specific planning policy requirements (SPPRS) of the guidelines, within the meaning of Section 28 (1C) of the Planning and Development Act 2000 (as amended) in carrying out their functions.

Accordingly, where SPPRS are stated in the guideline document, they take precedence over any conflicting policies and objectives of development plans, local area plans and strategic development zone planning schemes. Where such conflicts arise, such plans should be amended by the relevant planning authority to reflect the content of these guidelines and properly inform the public of the relevant SPPR requirements.

The apartment types are shown on the following drawings for clarity which accompany this application:

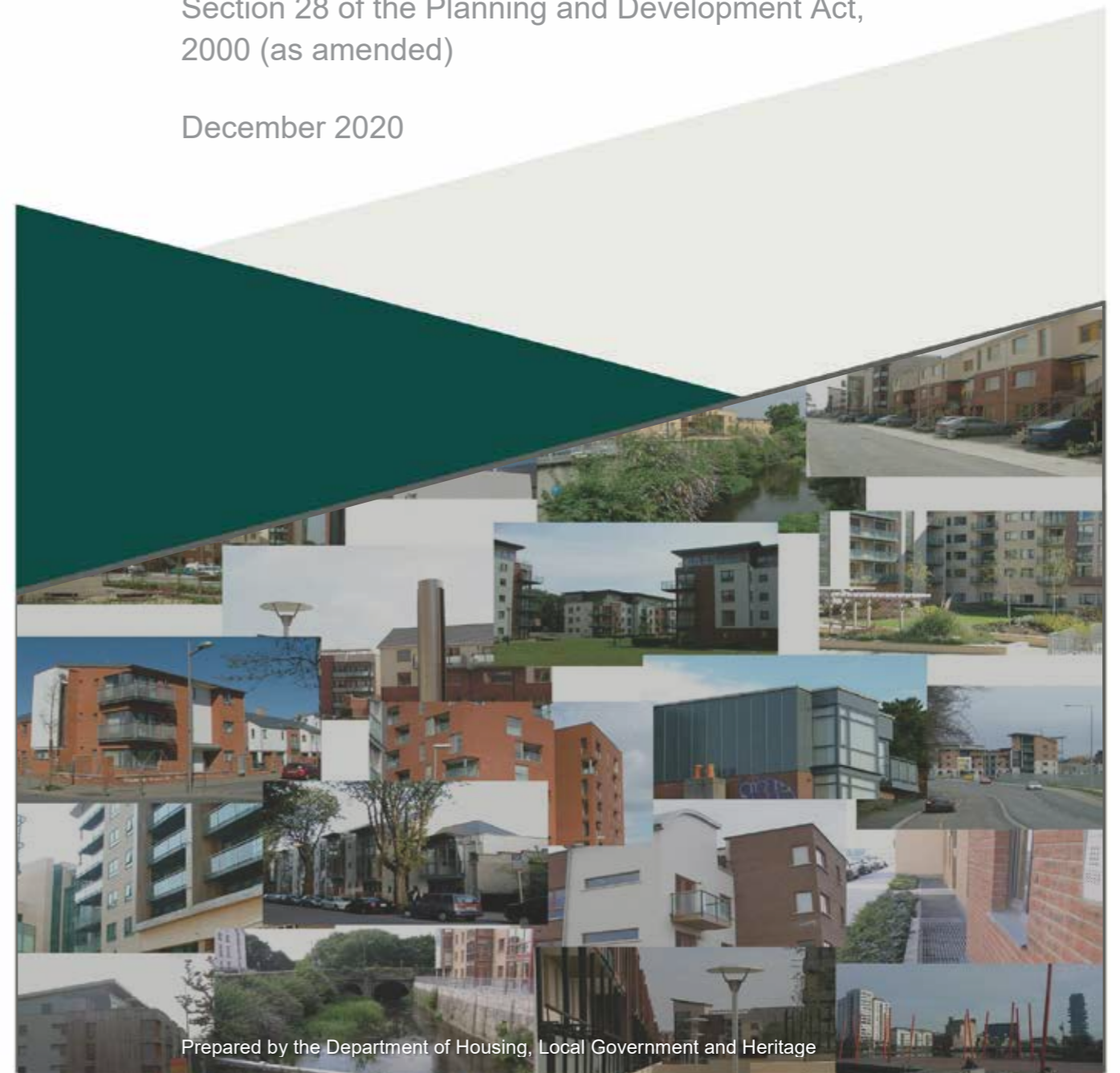


An Roinn Tithíochta,  
Rialtais Áitiúil agus Oidhreachta  
Department of Housing,  
Local Government and Heritage

## Sustainable Urban Housing: Design Standards for New Apartments

Guidelines for Planning Authorities issued under  
Section 28 of the Planning and Development Act,  
2000 (as amended)

December 2020



Prepared by the Department of Housing, Local Government and Heritage

# 3.0 COMPLIANCE



## Chapter Introductions:

This chapter will look at the following areas of interest against the provisions of the Sustainable Urban Housing: Design Standards for New Apartments:

### 3.1 - Apartment Mix

- Unit Type Mix
- Apartment Floor Areas
- Part V Residential

### 3.2 - Apartment Design

- Safe Guarding Standards
- Sunlighting / Daylighting / Orientation

### 3.3 - Aspect

- Calculation of Dual Aspect

### 3.4 - Ceilings, Cores & Storage

- Floor to Ceiling Height
- Lift and Stair Cores
- Internal Storage

### 3.5 - Private Amenity Space

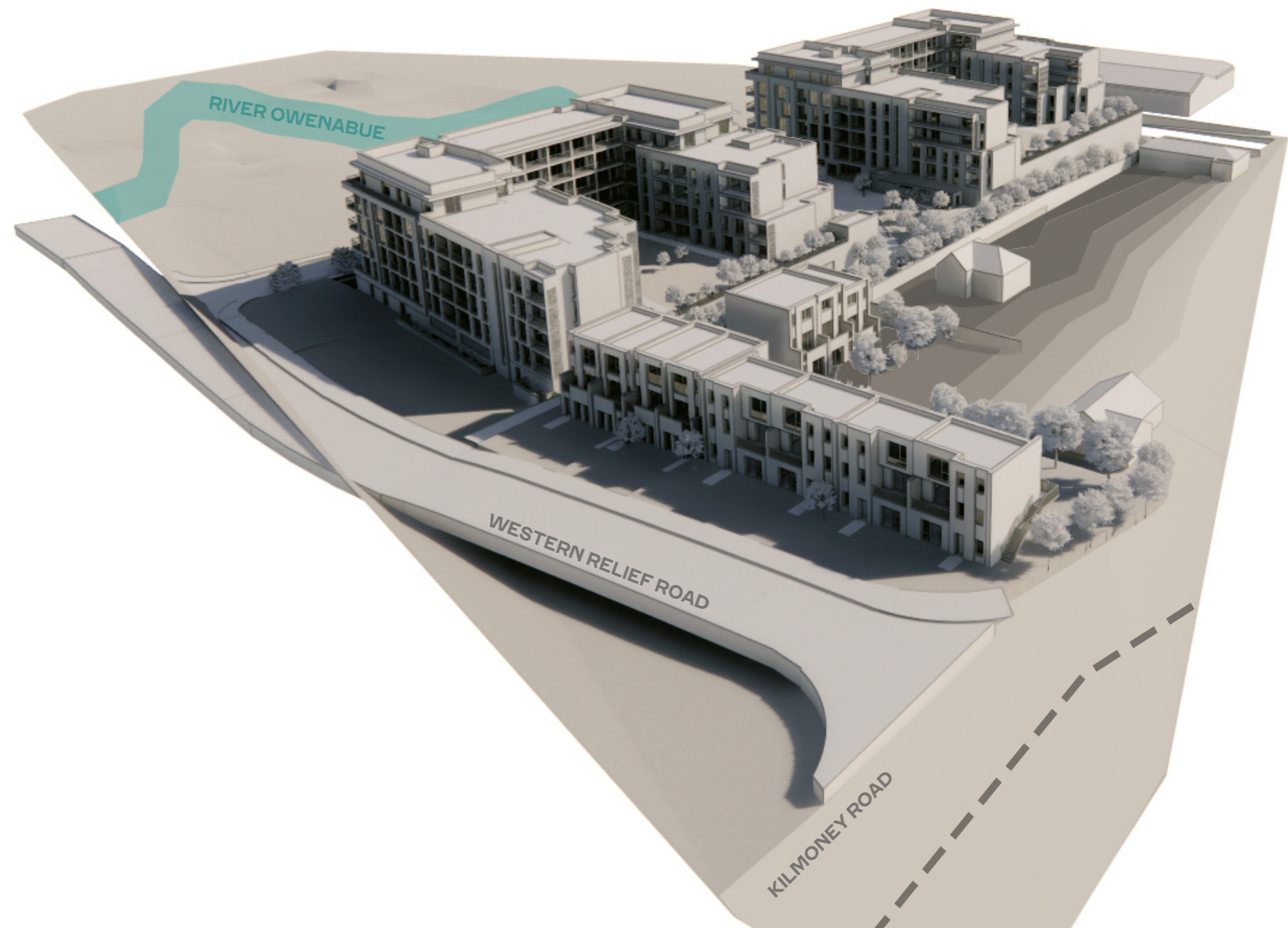
- Private Amenity Guidelines
- Proposed Private Amenity

### 3.6 - Communal Facilities

- Communal Amenity Space
- Children's Play
- Security Considerations

### 3.7 - Other Facilities

- Refuse Storage
- Car & Bicycle Parking



# 3.1 COMPLIANCE: APARTMENT MIX

## Unit Type Mix

Under the ‘Sustainable Urban Housing: Design Standards for New Apartments Guidelines for Planning Authorities’ Specific Planning Policy Requirement 1, it is noted that:

*‘Apartment developments may include up to 50% one-bedroom or studio type units (with no more than 20-25% of the total proposed development as studios) and there shall be no minimum requirement for apartments with three or more bedrooms.’*

*‘Statutory development plans may specify a mix for apartment and other housing developments, but only further to an evidence based Housing Need and Demand Assessment (HNDA), that has been agreed on an area, county, city or metropolitan area basis and incorporated into the relevant development plan(s).’*

As a commuter town to Cork City, this unit mix is intended to cater for a variety of users - singles, couples and small families across a full age spectrum, which is in keeping with the ever growing population of Carrigaline.

See table on page 9 for approx. unit mix breakdown.





# 3.1 COMPLIANCE: APARTMENT MIX



## Apartment Floor Areas

In accordance with *Specific Planning Policy Requirement 3*, at the very least the minimum apartment floor areas have all been met in the proposed development.

See *Appendix B* for a full detailed *Housing Quality Assessment Schedule*.

Number of Units							
Apartment Blocks							
Level		1 Bed	2 Bed (3 Person)	2 Bed (4 Person)	3 Bed		Total
Level 00							
Level 01							
Level 02		19	5	20	1		45
Level 03		22	4	19	2		47
Level 04		21	4	15	4		44
Level 05		21	4	15	4		44
Level 06		11	1	9	1		22
<b>Total</b>		<b>94</b>	<b>18</b>	<b>78</b>	<b>12</b>		<b>202</b>
<b>Townhouses</b>							
Level		1 Bed	2 Bed (3 Person)	2 Bed (4 Person)	3 Bed		Total
Level -01		0	0	2	0		2
Level 00		7	0	2	0		9
Level 01		0	0	0	0		0
Level 02		0	0	11	0		11
<b>Total</b>		<b>7</b>	<b>0</b>	<b>15</b>	<b>0</b>		<b>22</b>
<b>Overall Total Units</b>		<b>101</b>	<b>18</b>	<b>93</b>	<b>12</b>		<b>224</b>
<i>Percentage Mix (%)</i>		<i>45</i>	<i>8</i>	<i>42</i>	<i>5</i>		

Apartment mix and numbers breakdown

# 3.1 COMPLIANCE: APARTMENT MIX



## Part V Residential

The table here outlines the proposed provision of Part V residential allocation within the development.

In accordance with the Planning and Development Act 2000, a required 10% of total units are to be used for Part V Social Housing allocation.

23no. residential units in total. The breakdown is as follows:

- 6no. 1 bed apartments
- 6no. 2 bed (3 person) apartments
- 10no. 2 bed (4 person) apartments
- 1no. 3 bed apartments

These units are located throughout the development at various levels, and are proposed to be leased by Cork County Council or an approved housing body that meet Part V requirements.

Part V Units						
Apartment Blocks						
Level		1 Bed	2 Bed (3 Person)	2 Bed (4 Person)	3 Bed	Total
Level 00						
Level 01						
Level 02		3	1	5	0	9
Level 03		1	2	3	0	6
Level 04		1	2	2	1	6
Level 05		1	1	0	0	2
Level 06		0	0	0	0	0
<b>Total</b>		<b>6</b>	<b>6</b>	<b>10</b>	<b>1</b>	<b>23</b>

Part V apartment allocation breakdown



Part V allocation floor layout example

## 3.2 COMPLIANCE: APARTMENT DESIGN



### Safeguarding Higher Standards

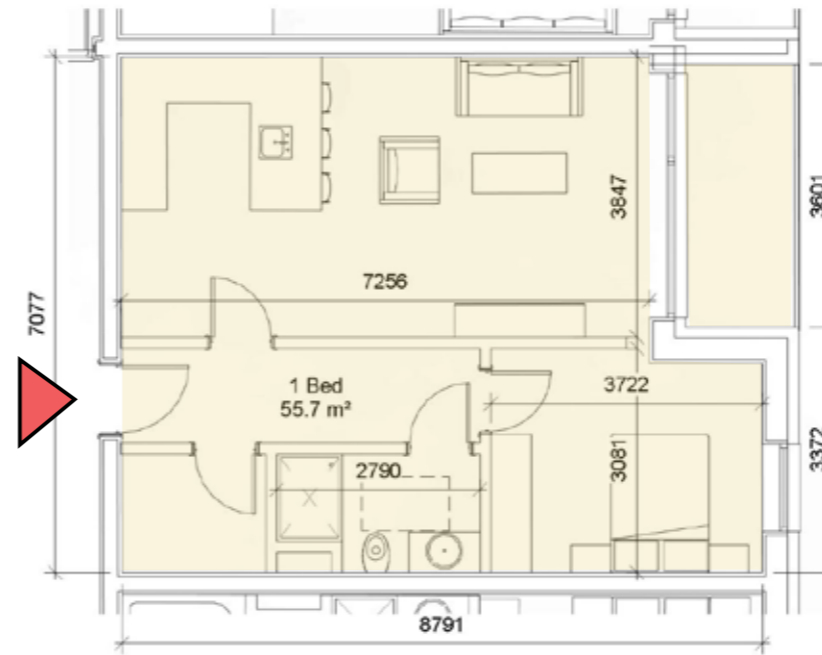
As outlined in the ‘Sustainable Urban Housing: Design Standards for New Apartments Guidelines for Planning Authorities’, the development has ensured that a minimum of 10% of the overall units are exceeding the minimum standard area requirements. Examples of such units can be seen here showing an oversized 1 Bed and 2 Bed (3 Person).

*‘In the interests of sustainable and good quality urban development these guidelines should be applied in a way that ensures delivery of apartments not built down to a minimum standard, but that reflect a good mix of apartment sizes. Accordingly, it is a requirement that the majority of all apartments in any proposed scheme of 10 or more apartments shall exceed the minimum floor area standard for any combination of the relevant 1, 2 or 3 bedroom unit types, by a minimum of 10% (any studio apartments must be included in the total, but are not calculable as units that exceed the minimum by at least 10%).’*

- Sustainable Urban Housing: Design Standards for New Apartments  
Guidelines for Planning Authorities

In keeping with safe guarding standards, it has also been ensured that the 2 Bed (3 Person) unit is under the 10% maximum allowance of overall unit types. The total number of 2 Bed (3 Person) across the scheme is 14, keeping the overall percentage of these at 6%.

See Appendix D for a full breakdown of units which exceed the 10% area.



<p><b>1 BED</b> UNIT TYPE B REQUIRED AREA: 45sqm <b>PROVIDED AREA: 55.7sqm</b></p>
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<p><b>2 BED (3 PER)</b> UNIT TYPE K REQUIRED AREA: 63sqm <b>PROVIDED AREA: 76.8sqm</b></p>
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## 3.2 COMPLIANCE: APARTMENT DESIGN



### Sunlighting / Daylighting / Orientation

The aspect of all units has been considered throughout the development so as to maximise views and sunlight where possible. Overall, there is only 1 storey where there is more than 1 north facing unit and to compensate, all north facing units are over looking the extensive parkland and riverfront. Every other unit is dual aspect or is orientated south/east/west.

At penthouse level, every unit is dual aspect.

As well as orientation, other considerations made to maximise daylight within the units is glazing and balcony depth. Glazing has been maximised in order to provide adequate sunlight into all units, along with ensuring balcony depths meet standards but don't over shadow the internal space.

For further information on daylight analysis, please refer to the document - 'Carrigaline SHD Daylight Study - Geometry and Building Design' which has been carried out by Passive Dynamics, Sustainability Consultants.



**BLOCK 01**

Typical Floor Layout demonstrating unit orientation

# 3.3 COMPLIANCE: ASPECT



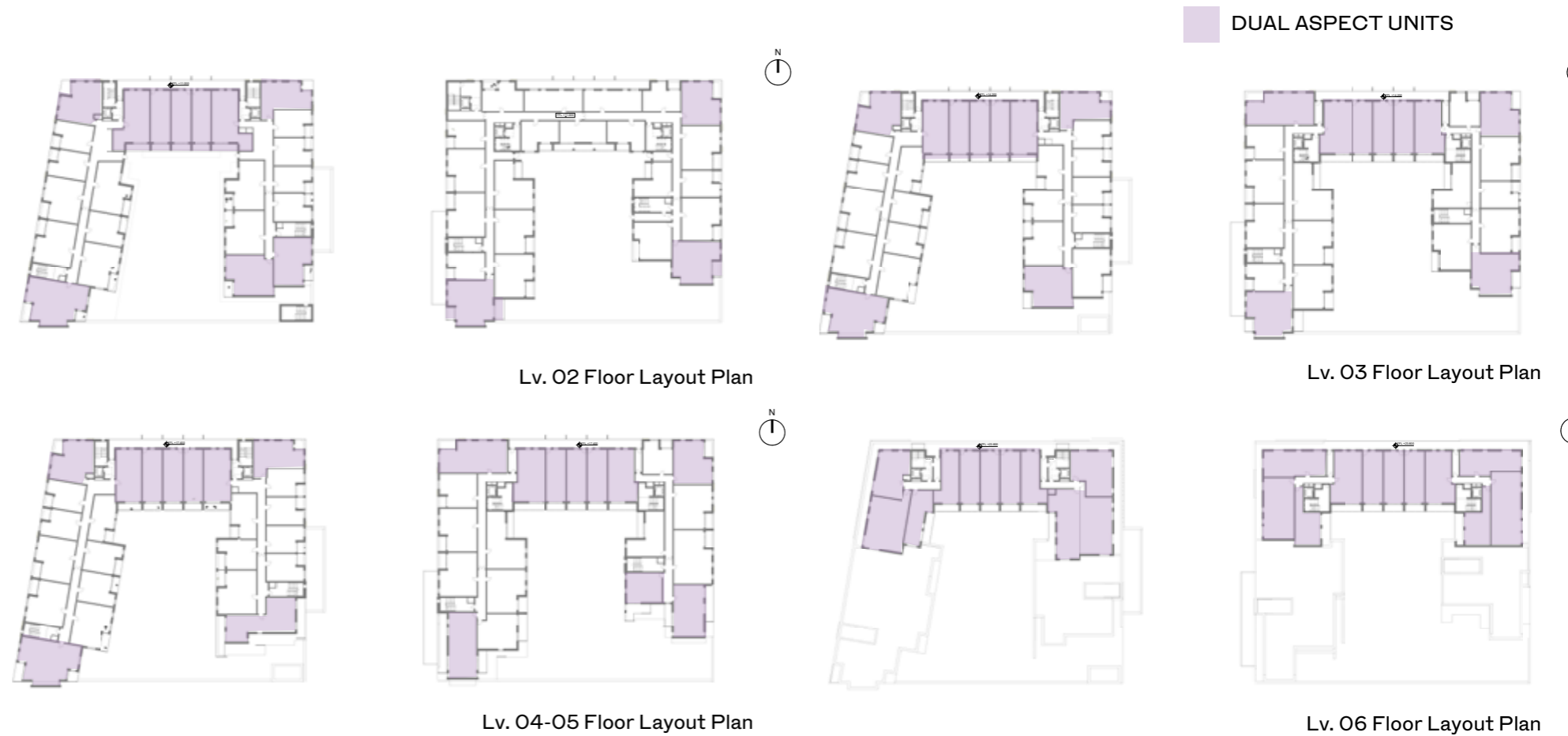
## Calculation of Dual Aspect

In accordance with the Sustainable Urban Housing: Design Standards for New Apartments Guidelines, it is policy requirement that apartment schemes deliver at least 33% dual aspect units.

*'It is a policy requirement that apartment schemes deliver at least 33% of the units as dual aspect in more central and accessible and some intermediate locations, i.e. on sites near to city or town centres, close to high quality public transport or in SDZ areas, or where it is necessary to ensure good street frontage and subject to high quality design.'*

As can be seen here, the development delivers on this standard and exceeds it with a total of 52% of units meeting dual aspect requirements.

See Appendix C for full breakdown of unit aspect across the site.



Dual Aspect						
Level		1 Bed	2 Bed (3 Person)	2 Bed (4 Person)	3 Bed	Total
Level 00						0
Level 01						0
Level 02		3	1	8	1	13
Level 03		6	3	8	2	19
Level 04		7	4	6	3	20
Level 05		7	4	6	3	20
Level 06		11	1	9	1	22
<b>Total</b>		<b>34</b>	<b>13</b>	<b>37</b>	<b>10</b>	<b>94</b>
					(+ all townhouses)	22
<b>Overall Total</b>						<b>116</b>
					<b>Percentage (%)</b>	<b>52</b>

# 3.4 COMPLIANCE: CEILINGS, CORES & STORAGE



## Floor to Ceiling Heights

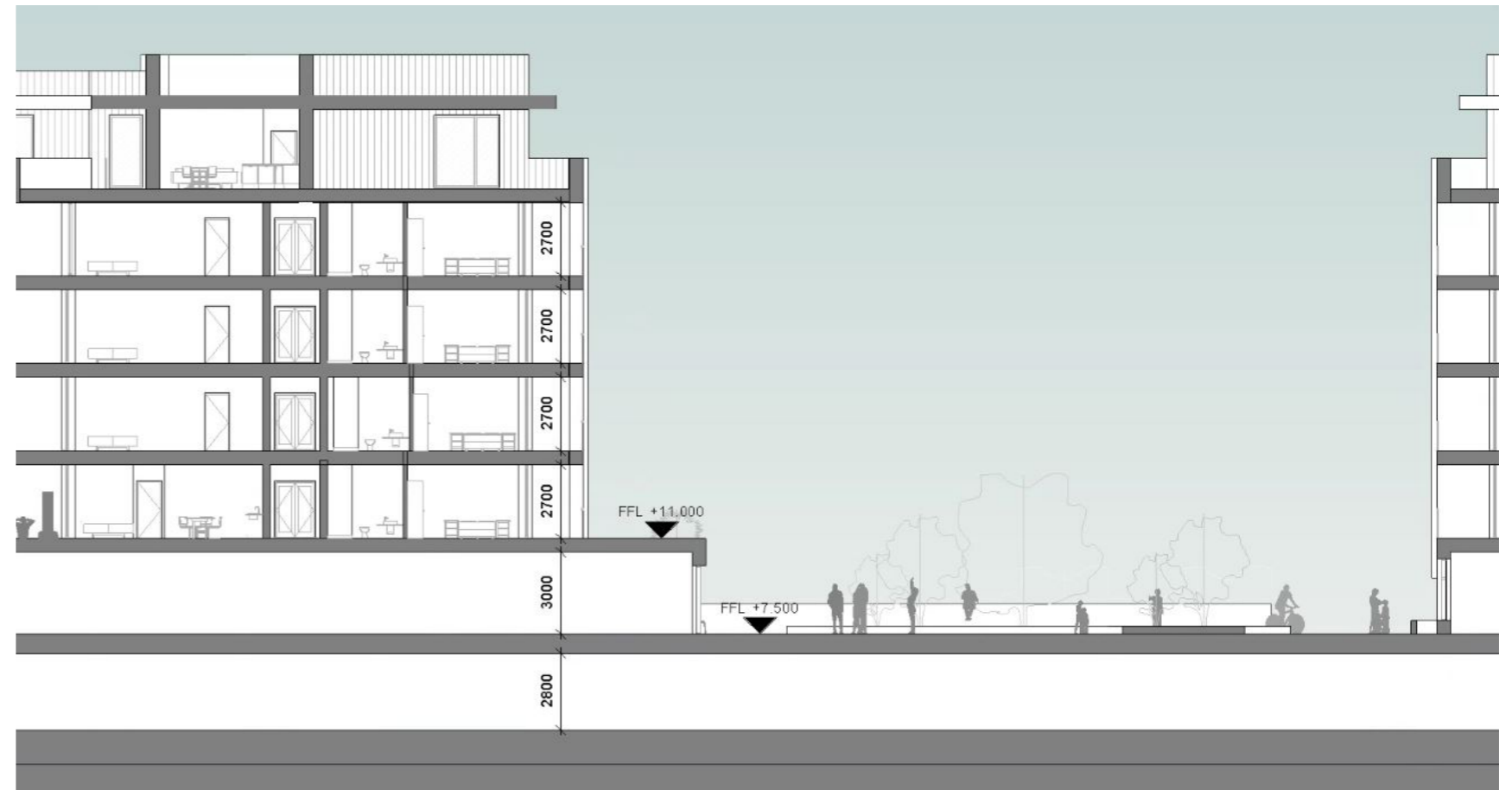
According to section 3.21 of the Sustainable Urban Housing: Design Standards for New Apartment Guidelines 2018, a minimum floor to ceiling height of 2.7m is to be achieved across all floor levels. The ground floor units however, are to achieve a minimum floor to ceiling height of 2.7m. The development has all units reaching a floor to ceiling height of 2.7m with the ground floor and first floor achieving this and higher in places. The car park is the only area where the floor to ceiling height falls under 2.7m but is still within keeping with car park regulation height standards.

## Lifts and Stair Cores

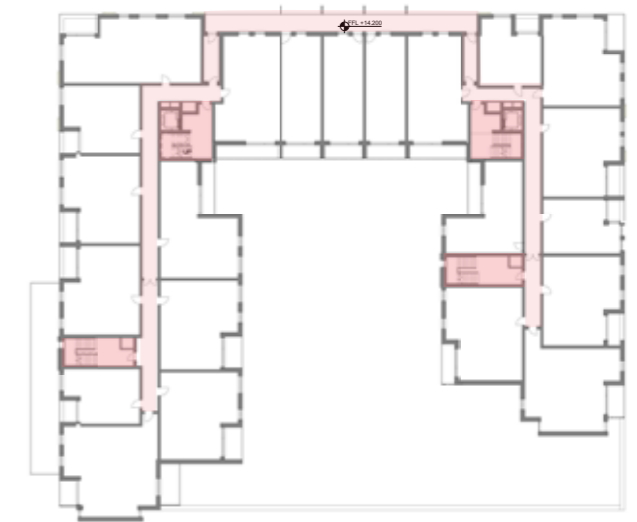
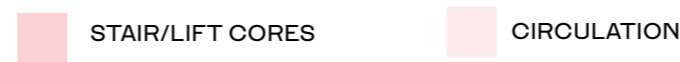
There are a total of 5 cores across the development that have both lift and stairs. 2 cores per unit block with the second block having an additional core that runs from ground to second floor in order to avoid having to cut through the retail unit below. The townhouse and duplex units are accessed ground entrance and gantry access on the first floor that is accessible via 3 separate stairs.

## Internal Storage

Over 90% of the units are fully compliant with regards storage within the unit. The storage provided is in addition to kitchen presses and bedroom furniture and is in addition to minimum aggregate living/dining/kitchen or bedroom floor areas. Individual storage rooms within an apartment do not exceed 3.5m<sup>2</sup>. The remaining units that fall slightly under this requirement will have storage supplemented elsewhere in the development that will provide them with adequate storage.



Section through block one of development



Typical Floor Layout demonstrating core and circulation locations



# 3.5 PRIVATE AMENITY SPACE



## Guidelines

The Design Standards for New Apartments 2020 outlines that private open space in the form of gardens or terraces for ground floor apartments and balconies at upper levels be provided in new developments.

*'Balconies should adjoin and have a functional relationship with the main living areas of the apartments. In certain circumstances, glass screened 'winter gardens' may be provided. A minimum depth of 1.5m is required for balconies, in one usable length to meet the minimum floor area requirement.'*

Appendix 1 sets out the following minimum floor areas for private amenity space within units:

- Studio: 4m<sup>2</sup>
- 1 Bed Apartment: 5m<sup>2</sup>
- 2 Bed (3 Person) Apartment: 6m<sup>2</sup>
- 2 Bed (4 Person) Apartment: 7m<sup>2</sup>
- 3 Bed Apartment: 9m<sup>2</sup>

## Proposed Private Amenity

Provisions have been made within each apartment in the form of a balcony/terrace that meets the standards set out in the guidelines. All balconies and terraces meet and exceed the standard requirements.

*For a full breakdown, please refer to the Housing Quality Assessment in Appendix B of this document.*



PRIVATE AMENITY



BLOCK 01

Typical Floor Layout with private amenity locations

# 3.6 COMMUNAL FACILITIES & AMENITY SPACE



## Communal Facilities

Shared residential amenities are located on the ground and first floor of the development. A gym and shared work spaces/ residential lounges are accessible via the cores or directly off the central podium deck that runs between block O1 and O2.

Childcare facility provisions have also been made at first floor level, which will accommodate 20 children over different ages groups which will cater for residents of the proposed development and families in the wider community.

## Communal Amenity

Outdoor communal amenity space is located centre to both apartment blocks of the development, as well as the podium deck that runs in between. Along with the large expanse of parkland to the north of the development that will be open to the public for all to enjoy, a greenway will also be developed that links the wider context of Carrigaline with the development.

See table on page 17 for breakdown and provision of communal areas within the development.



Site Layout Plan highlighting communal amenity space and public open space



# 3.6 COMMUNAL FACILITIES & AMENITY SPACE



## Children's Play

Dedicated children's play areas are located adjacent to the childcare facilities on the central podium deck with a total area of 180sqm internal space and 164sqm externally. Directly across from this, in the large expanse of parkland are several open spaces dedicated to children's play as well.

Refer to the Landscape Drawings for further details.



Play area catering for all age groups



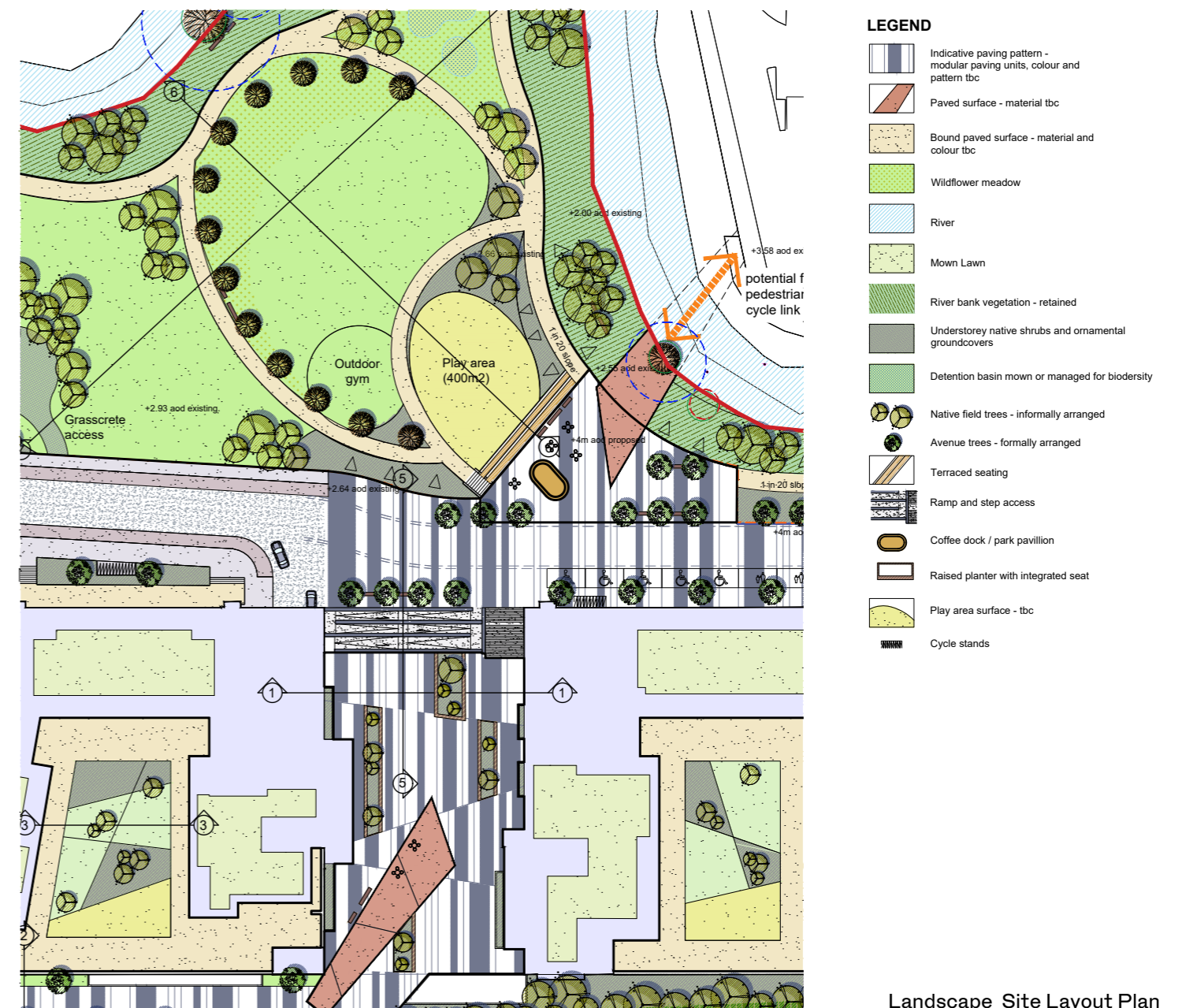
Play area with Robinia timber equipment

## Security Considerations

Security and safety are one of the aspects of apartment design that need to be considered for all occupants and visitors of the development. All public spaces throughout the development are overlooked by the apartments via balconies or terraces. A lighting strategy has also been executed for the development and for the large parkland in order to ensure proper illumination which will foster a well lit and safe environment.

All ground floor external areas around the development enjoy passive supervision through over-looking and active ground floor uses. Due to the design of the development, there are no areas on site that have blind spots. All routes to the building are overlooked and add an extra sense of safety to the development.

Required Communal Amenity				Proposed Communal Amenity			
Type	No. of Units	(sqm) Rate	(sqm) Area	Indoor Amenity	(sqm) Area	Outdoor Amenity	(sqm) Area
1 Bed	102	5	510	Cym	167	Podium Courtyards	1892
2 Bed (3P)	14	6	84	Resi Lounges	130		
2 Bed (4P)	96	7	672	Multi-Function Rooms	142		
3 Bed	12	9	108				
				Total	439		1892
<b>Total</b>	<b>224</b>		<b>1374</b>	<b>Overall Total (sqm)</b>		<b>2331</b>	



Landscape Site Layout Plan

# 3.7 OTHER FACILITIES



## Refuse Storage

The provision of refuse storage is located on the ground floor within the car park of the development.

In compliance with the Sustainable Urban Housing document, the following general design considerations were taken into account in the provision of refuse storage facilities within the proposed development:

- Sufficient communal storage area to satisfy the three-bin system for collection of mixed dry recyclables, organic waste and residual waste;
- Well ventilated storage areas to minimise odours and potential nuisance from vermin/flyes etc.
- Provision in the layout for sufficient access for waste collectors, proximity of, or ease of access to, waste storage areas from individual apartments, including access by disabled people
- Receptacles will be re-usable and 1,100 litre capacity
- Suitable waste water drainage points will be installed in the receptacle bin storage area for cleaning and disinfecting purposes

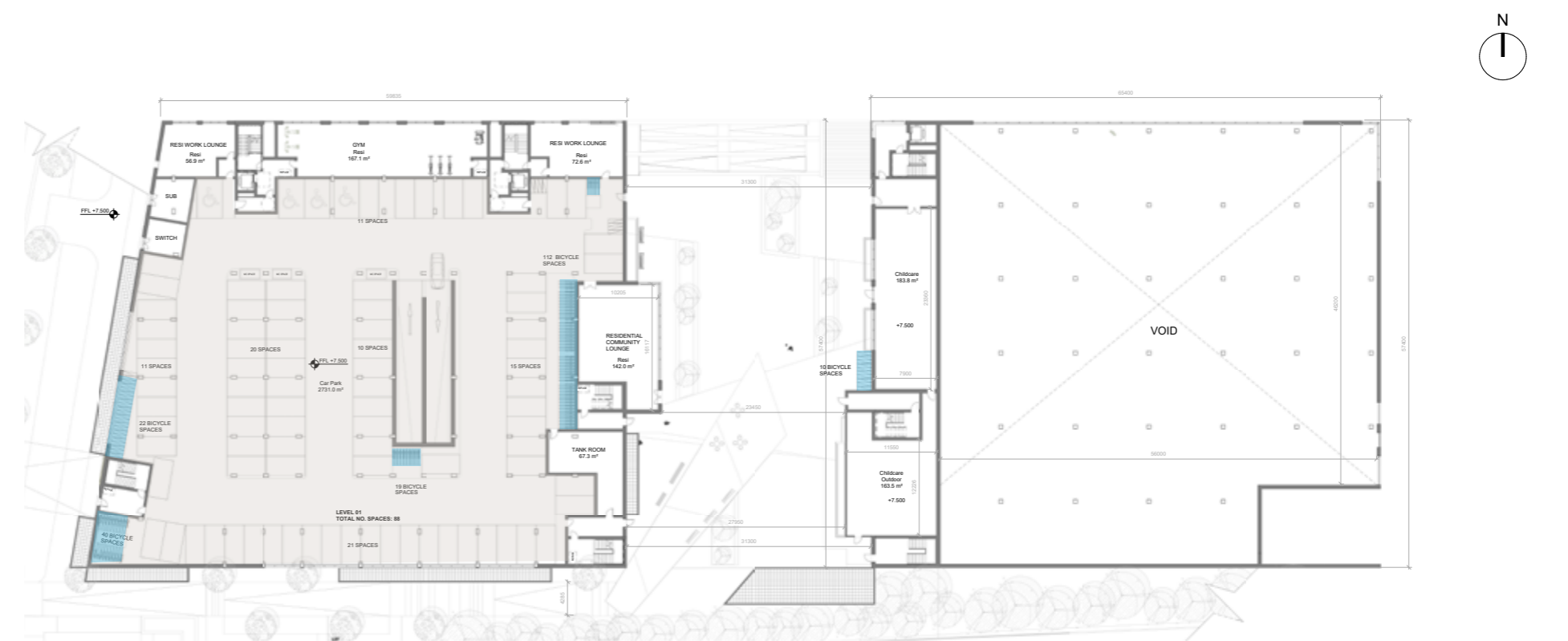
## Car & Bicycle Parking

Car Parking facilities are located on the ground and first floor of the development, with a total of 157 spaces on the ground floor, 88 on the first floor and 10 additional spaces located on grade. Bringing the total number of spaces to 255.

Bicycle storage is also provided for a total of 503 bicycles in accordance with the Local Authority Plan for the Carrigaline municipal area, which is located across the ground and first levels of the development.



Ground Floor Layout Plan



First Floor Layout Plan

# 4.1 APPENDIX A - Schedule Summary



Number of Units							Part V Units							
Apartment Blocks							Apartment Blocks							
Level	1 Bed	2 Bed (3 Person)	2 Bed (4 Person)	3 Bed	Total		Level	1 Bed	2 Bed (3 Person)	2 Bed (4 Person)	3 Bed	Total		
Level 00							Level 00							
Level 01							Level 01							
Level 02	19	5	20	1	45		Level 02	3	1	5	0	9		
Level 03	22	4	19	2	47		Level 03	1	2	3	0	6		
Level 04	21	4	15	4	44		Level 04	1	2	2	1	6		
Level 05	21	4	15	4	44		Level 05	1	1	0	0	2		
Level 06	11	1	9	1	22		Level 06	0	0	0	0	0		
<b>Total</b>	<b>94</b>	<b>18</b>	<b>78</b>	<b>12</b>	<b>202</b>		<b>Total</b>	<b>6</b>	<b>6</b>	<b>10</b>	<b>1</b>	<b>23</b>		
Townhouses							Dual Aspect							
Level	1 Bed	2 Bed (3 Person)	2 Bed (4 Person)	3 Bed	Total		Level	1 Bed	2 Bed (3 Person)	2 Bed (4 Person)	3 Bed	Total		
Level -01	0	0	2	0	2		Level 00					0		
Level 00	7	0	2	0	9		Level 01					0		
Level 01	0	0	0	0	0		Level 02	3	1	8	1	13		
Level 02	0	0	11	0	11		Level 03	6	3	8	2	19		
<b>Total</b>	<b>7</b>	<b>0</b>	<b>15</b>	<b>0</b>	<b>22</b>		Level 04	7	4	6	3	20		
<b>Overall Total Units</b>	<b>101</b>	<b>18</b>	<b>93</b>	<b>12</b>	<b>224</b>		Level 05	7	4	6	3	20		
<i>Percentage Mix (%)</i>	<i>45</i>	<i>8</i>	<i>42</i>	<i>5</i>			Level 06	11	1	9	1	22		
							<b>Total</b>	<b>34</b>	<b>13</b>	<b>37</b>	<b>10</b>	<b>94</b>		
												<i>(+ all townhouses)</i> 22		
							<b>Overall Total</b>					<b>116</b>		
												<i>Percentage (%)</i> 52		
Unit Gross Areas (sqm)							Unit Gross Areas (sqm)							
Apartment Blocks							Townhouses							
Level	1 Bed	2 Bed (3 Person)	2 Bed (4 Person)	3 Bed	Total		Level	1 Bed	2 Bed (3 Person)	2 Bed (4 Person)	3 Bed	Total		
Level 00							Level -01	0	0	232.4	0	232.4		
Level 01							Level 00	421.1	0	251.3	0	672.4		
Level 02	989	373.5	1698.1	120.2	3180.8		Level 01	0	0	0	0	0		
Level 03	1174.3	306.1	1637.1	224.4	3341.9		Level 02	0	0	1128.6	0	1128.6		
Level 04	1137.9	295.2	1257.8	440.7	3131.6		<b>Total</b>	<b>421.1</b>	<b>0</b>	<b>1612.3</b>	<b>0</b>	<b>2033.4</b>		
Level 05	1138.2	295.2	1260.4	440.7	3134.5									
Level 06	611.8	74.9	832.4	117.9	1637									
<b>Total</b>	<b>5051.2</b>	<b>1344.9</b>	<b>6685.8</b>	<b>1343.9</b>	<b>14425.8</b>									
Communal Circulation							Communal Amenity							
(sqm)							(sqm)							
Block 1							Block 2							
Level							Required Communal Amenity				Proposed Communal Amenity			
Level 00							Type	No. of Units	(sqm) Rate	(sqm) Area	Indoor Amenity	(sqm) Area	Outdoor Amenity	(sqm) Area
Level 01							1 Bed	102	5	510	Gym	167	Podium Courtyards	1892
Level 02	261	250.4					2 Bed (3P)	14	6	84	Resi Lounges	130		
Level 03	225.7	221.5					2 Bed (4P)	96	7	672	Multi-Function Rooms	142		
Level 04	226.5	222.6					3 Bed	12	9	108				
Level 05	226.5	222.6												
Level 06	115.4	101.6												
<b>Total</b>	<b>1055.1</b>	<b>1018.7</b>					<b>Total</b>	<b>224</b>		<b>1374</b>	<b>Overall Total (sqm)</b>	<b>439</b>	<b>2331</b>	

# 4.2 APPENDIX B - Housing Quality Assessment Schedule



Level	Unit Number	Unit Type	No. Of Beds	Unit Area (m <sup>2</sup> )	Area required (m <sup>2</sup> )	Bedroom Area (m <sup>2</sup> )	Bedroom Area required (m <sup>2</sup> )	Bedroom Aggregate Area (m <sup>2</sup> )	Required Bedroom Agg. (m <sup>2</sup> )	Living Area (m <sup>2</sup> )	Living Area required (m <sup>2</sup> )	Private Amenity (m <sup>2</sup> )	Private Amenity required (m <sup>2</sup> )	Storage (m <sup>2</sup> )	Storage required (m <sup>2</sup> )	Aspect
<b>Level O2</b>																
<b>Block O1</b>																
	2.01	A	2 Bed (4 Person)	81.8	73	14	13	25.4	24.4	30	30	7	7	6.7	6	E
						11.4	11.4									
	2.02	B	1 Bed	54	45	11.4	11.4	11.4	11.4	26.7	23	6.6	5	3.3	3	E
	2.03	C	2 Bed (4 Person)	81.6	73	13.1	13	24.7	24.4	30.1	30	7	7	6.1	6	SE
						11.6	11.4									
	2.04	D	3 Bed	120.2	90	13	13	35.8	31.5	46.4	34	11.9	9	9.1	9	EWS
						12.2	11.4									
						10.6	7.1									
	2.05	C	2 Bed (4 Person)	81.7	73	13.1	13	24.7	24.4	30	30	7.2	7	6.1	6	W
						11.6	11.4									
	2.06	C (h)	2 Bed (4 Person)	81.3	73	13.1	13	24.7	24.4	30	30	7.2	7	6.1	6	W
						11.6	11.4									
	2.07	E	1 Bed	49.4	45	11.4	11.4	11.4	11.4	23.5	23	5	5	3.7	3	W
	2.08	E (h)	1 Bed	49.6	45	11.6	11.4	11.6	11.4	23.4	23	5.2	5	3.7	3	W
	2.09	F	2 Bed (4 Person)	81.4	73	13.1	13	24.5	24.4	30.7	30	7.6	7	6.1	6	NW
						11.4	11.4									
	2.10.	G	2 Bed (4 Person)	84.6	73	13	13	24.5	24.4	30	30	11.1	7	6.2	6	NS
						11.5	11.4									
	2.11	H	1 Bed	56.1	45	11.5	11.4	11.5	11.4	23.1	23	8.3	5	3	3	NS
	2.12	H (h)	1 Bed	56.1	45	11.5	11.4	11.5	11.4	23.1	23	8.5	5	3	3	NS
	2.13	H	1 Bed	56.1	45	11.5	11.4	11.5	11.4	23.1	23	8.3	5	3	3	NS
	2.14	J	2 Bed (4 Person)	88.1	73	13.9	13	25.7	24.4	30.8	30	7	7	6.4	6	NS
						11.8	11.4									
	2.15	K	2 Bed (3 Person)	75.9	63	13	13	22.1	24.4	30	30	6.5	6	7.1	5	NE
						9.1	7.1									
	2.16	E	1 Bed	50.5	45	11.8	11.4	11.8	11.4	24.4	23	5.3	5	3.1	3	E
	2.17	E (h)	1 Bed	50.7	45	11.8	11.4	11.8	11.4	24.4	23	5.2	5	3.1	3	E
	2.18	E	1 Bed	50.7	45	11.8	11.4	11.8	11.4	24.4	23	5.1	5	3.1	3	E
	2.19	E (h)	1 Bed	50.7	45	11.8	11.4	11.8	11.4	24.4	23	5.4	5	3.1	3	E
	2.20.	M	2 Bed (4 Person)	89.3	73	13	13	24.5	24.4	37.1	30	7.7	7	6	6	E
						11.5	11.4									
	2.21	N	2 Bed (4 Person)	95	73	13.3	13	24.7	24.4	34.9	30	7.6	7	7	6	W
						11.4	11.4									
	2.22	C	2 Bed (4 Person)	82.1	73	13.1	13	24.5	24.4	30	30	7.7	7	6.1	6	W
						11.4	11.4									
	2.23	P	2 Bed (4 Person)	80.8	73	13	13	24.6	24.4	30	30	7.7	7	6.9	6	W
						11.6	11.4									
<b>Block O2</b>																
	2.24	Q	2 Bed (4 Person)	80.5	73	13	13	24.5	24.4	29.9	30	7.5	7	6.3	6	E
						11.5	11.4									
	2.25	R	2 Bed (4 Person)	82	73	13	13	24.5	24.4	30	30	7.2	7	6	6	E
						11.5	11.4									
	2.26	R	2 Bed (4 Person)	82.1	73	13	13	24.5	24.4	30	30	7.2	7	6	6	E
						11.5	11.4									
	2.27	S	2 Bed (4 Person)	103.6	73	14.1	13	28.2	24.4	39.1	30	16.2	7	6	6	EW
						14.1	11.4									
	2.28	T	1 Bed	51	45	11.4	11.4	11.4	11.4	24.3	23	5.1	5	3.2	3	W
	2.29	C	2 Bed (4 Person)	82.1	73	13.1	13	24.5	24.4	30	30	7	7	6	6	W
						11.4	11.4									
	2.30.	C (h)	2 Bed (4 Person)	81.7	73	13.1	13	24.5	24.4	30	30	7	7	6	6	W
						11.4	11.4									
	2.31	E	1 Bed	49.9	45	11.4	11.4	11.4	11.4	24.3	23	5.1	5	3.2	3	W
	2.32	W	1 Bed	55.1	45	11.8	11.4	11.8	11.4	24.9	23	6.1	5	3	3	NW
	2.33	X	2 Bed (3 Person)	68.4	63	13.5	11.4	20.8	20.1	28.4	23	30.7	6	5	5	N
						7.3	7.1									
	2.34	X (h)	2 Bed (3 Person)	68.4	63	13.5	11.4	20.8	20.1	28.4	23	30.7	6	5	5	N
						7.3	7.1									
	2.35	W	1 Bed	50.3	45	11.8	11.4	11.8	11.4	24.1	23	5.5	5	3	3	NE
	2.36	SS	2 Bed (4 Person)	81.8	73	13.1	13	24.6	24.4	30.1	30	8.1	7	6	6	NE
						11.5	11.4									
	2.37	R	2 Bed (4 Person)	82.2	73	13	13	24.5	24.4	30	30	7	7	6	6	E
						11.5	11.4									
	2.38	V	1 Bed	50.1	45	11.4	11.4	11.4	11.4	24.3	23	5.1	5	3.2	3	E
	2.39	Y	2 Bed (3 Person)	80	63	13.1	13	24.5	20.1	29.4	23	6.4	6	6.1	5	E
						11.4	7.1									
	2.40.	Z	2 Bed (4 Person)	94.4	73	13.6	13	26.7	24.4	32.2	30	7.2	7	6.2	6	EW
						13.1	11.4									

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	2.41	AA	2 Bed (3 Person)	80.8	45	12.8	11.4	12.8	11.4	37.3	23	6.8	5	5.5	5	W
	2.42	BB	1 Bed	54.1	45	11.7	11.4	11.7	11.4	24.2	23	5.7	5	3	3	W
	2.43	CC	1 Bed	50.5	45	11.7	11.4	11.7	11.4	23.4	23	5	5	3.4	3	S
	2.44	DD	1 Bed	53	45	12.1	11.4	12.1	11.4	24.6	23	21	5	3.1	3	S
	2.45	CC (h)	1 Bed	51.1	45	11.6	11.4	11.6	11.4	23.4	23	5	5	3.4	3	S
<b>Total</b>				<b>3180.8</b>												
Level	Unit Number	Unit Type	No. Of Beds	Unit Area (m <sup>2</sup> )	Area required (m <sup>2</sup> )	Bedroom Area (m <sup>2</sup> )	Bedroom Area required (m <sup>2</sup> )	Bedroom Aggregate Area (m <sup>2</sup> )	Bedroom Agg. (m <sup>2</sup> )	Living Area (m <sup>2</sup> )	Living Area required (m <sup>2</sup> )	Private Amenity (m <sup>2</sup> )	Private Amenity required (m <sup>2</sup> )	Storage (m <sup>2</sup> )	Storage required (m <sup>2</sup> )	Aspect
<b>Level O3</b>																
<b>Block O1</b>																
	3.01	EE	1 Bed	53.4	45	11.5	11.4	11.5	11.4	28.3	23	5.1	5	3.1	3	E
	3.02	B (h)	1 Bed	54.1	45	11.4	11.4	11.4	11.4	26.7	23	6.7	5	3.3	3	E
	3.03	B	1 Bed	54.1	45	11.4	11.4	11.4	11.4	26.7	23	6.7	5	3.3	3	E
	3.04	C	2 Bed (4 Person)	81.5	73	13.1	13	24.7	24.4	30.5	30	7	7	6.1	6	SE
						11.6	11.4									
	3.05	D	3 Bed	120.3	90	13	13	35.8	31.5	46.4	34	11.9	9	9.1	9	EWS
						12.2	11.4									
						10.6	7.1									
	3.06	C	2 Bed (4 Person)	81.7	73	13.1	13	24.7	24.4	30	30	7.3	7	6.1	6	W
						11.6	11.4									
	3.07	C (h)	2 Bed (4 Person)	81.3	73	13.1	13	24.7	24.4	30	30	7.5	7	6.1	6	W
						11.6	11.4									
	3.08	E	1 Bed	49.4	45	11.8	11.4	11.8	11.4	24.4	23	5.2	5	3.1	3	W
	3.09	E (h)	1 Bed	49.6	45	11.8	11.4	11.8	11.4	24	23	5.6	5	3.1	3	W
	3.10.	F	2 Bed (4 Person)	81.4	73	13	13	24.4	24.4	30.6	30	7.6	7	4.7	6	NW
						11.4	11.4									
	3.11	FF	2 Bed (3 Person)	72.1	63	13	13	20.4	20.1	28	28	8.5	6	5.1	5	NS
						7.4	7.1									
	3.12	H	1 Bed	55.8	45	11.5	11.4	11.5	11.4	23	23	8.3	5	3	3	NS
	3.13	H (h)	1 Bed	55.8	45	11.5	11.4	11.5	11.4	23.1	23	8.5	5	3	3	NS
	3.14	H	1 Bed	55.8	45	11.4	11.4	11.4	11.4	23.1	23	8.3	5	3	3	NS
	3.15	FF (h)	2 Bed (3 Person)	74.9	63	13.6	13	21.7	20.1	31.5	28	6.8	6	5.5	5	NS
						8.1	7.1									
	3.16	K	2 Bed (3 Person)	75.9	63	13	13	22.1	20.1	30	28	6.5	6	5	5	NE
						9.1	7.1									
	3.17	SSS	2 Bed (4 Person)	102.8	73	14.1	11.4	26.3	24.4	37	30	10	7	6.9	6	E
						12.2										
	3.18	E	1 Bed	50.7	45	11.8	11.4	11.8	11.4	24.4	23	5.1	5	3.1	3	E
	3.19	E (h)	1 Bed	50.7	45	11.8	11.4	11.8	11.4	24.4	23	5.1	5	3.1	3	E
	3.2	M	2 Bed (4 Person)	89.3	73	13	13	24.5	24.4	36.9	30	6.4	7	6	6	E
						11.5	11.4									
	3.21	KK	2 Bed (4 Person)	95.3	73	13.3	13	24.7	24.4	34.9	30	7.4	7	7	5	W
						11.4	11.4									
	3.22	C	2 Bed (4 Person)	82.1	73	13.1	13	24.7	24.4	30	30	5.2	7	6.1	6	W
						11.6	11.4									
	3.23	B	1 Bed	54.4	45	11.4	11.4	11.4	11.4	26.7	23	5.2	5	3.3	3	W
	3.24	LL	1 Bed	53.4	45	12.1	11.4	12.1	11.4	26.8	23	5.3	5	3	3	W
<b>Block O2</b>																
	3.25	MM	2 Bed (4 Person)	89.4	73	13.5	13	26.4	24.4	38.1	30	9.6	7	6.1	6	E
						12.9	11.4									
	3.26	R	2 Bed (4 Person)	82	73	13	13	24.5	24.4	30	30	7.1	7	6	6	E
						11.5	11.4									
	3.27	R	2 Bed (4 Person)	82.1	73	13	13	24.5	24.4	30	30	7.1	7	7.2	6	E
						11.5	11.4									
	3.28	S	2 Bed (4 Person)	103.6	73	14.3	13	28.1	24.4	38.9	30	15.8	7	6	6	EW
						13.8	11.4									
	3.29	T	1 Bed	51	45	11.4	11.4	11.4	11.4	24.3	23	5	5	3.8	3	W
	3.30.	C	2 Bed (4 Person)	82.1	73	13	13	24.5	24.4	30	30	7.1	7	7.1	6	W
						11.5	11.4									
	3.31	C (h)	2 Bed (4 Person)	81.7	73	13	13	24.5	24.4	30	30	7.1	7	7.1	6	W
						11.5	11.4									
	3.32	NN	1 Bed	63.1	45	11.5	11.4	11.5	11.4	35.1	23	6.4	5	3.8	3	W
	3.33	PP	3 Bed	104.1	90	13.1	13	34.6	31.5	34.1	34	9.7	9	11.6	9	NW
						11.4	11.4									
						10.1	7.1									
	3.34	QQ	2 Bed (4 Person)	83.4	73	13.3	13	24.9	24.4	34.5	30	8.6	7	7	6	NS
						11.6	11.4									
	3.35	H	1 Bed	55.9	45	11.5	11.4	11.5	11.4	23	23	8.7	5	4.2	3	NS
	3.36	H (h)	1 Bed	55.8	45	11.5	11.4	11.5	11.4	23.1	23	8.7	5	4.2	3	NS
	3.37	H	1 Bed	55.8	45	11.4	11.4	11.4	11.4	23.1	23	8.7	5	4.2	3	NS
	3.38	TTT	2 Bed (4 Person)	78.4	73	13.5	13	24.9	24.4	32.4	30	10.5	7	6.7	6	NS

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	3.39	RR	1 Bed	48.3	45	11.4	11.4	11.4	11.4	23	23	5.5	5	3.2	3	N
	3.40.	SS	2 Bed (4 Person)	81.5	73	13	13	24.4	24.4	30.6	30	8.4	7	6	6	NE
						11.4	11.4									
	3.41	R	2 Bed (4 Person)	82.2	73	13	13	24.5	24.4	30	30	7	7	7.1	6	E
						11.5	11.4									
	3.42	V	1 Bed	50	45	11.4	11.4	11.4	11.4	24.3	23	7.4	5	4.4	3	E
	3.43	TT	2 Bed (3 Person)	83.2	73	13	13	24.7	24.4	30.2	30	7	7	7.2	5	E
						11.7	11.4									
	3.44	UU	2 Bed (4 Person)	95.3	73	13.5	13	25.2	24.4	32.6	30	7.2	7	6.2	6	EW
						11.7	11.4									
	3.45	VV	1 Bed	45.1	45	12.5	11.4	12.5	11.4	22.7	23	6.2	5	1.4	3	W
	3.46	RRR	1 Bed	47.3	45	11.7	11.4	11.7	11.4	22.7	23	5.5	5	2.4	3	W
	3.47	WW	1 Bed	64.8	45	13.3	11.4	13.3	11.4	31.2	23	9.6	5	3.4	3	W
	<b>Total</b>			3341.9												
Level	Unit Number	Unit Type	No. Of Beds	Unit Area (m <sup>2</sup> )	Area required (m <sup>2</sup> )	Bedroom Area (m <sup>2</sup> )	Bedroom Area required (m <sup>2</sup> )	Bedroom Aggregate Area (m <sup>2</sup> )	Bedroom Agg. (m <sup>2</sup> )	Living Area (m <sup>2</sup> )	Living Area required (m <sup>2</sup> )	Private Amenity (m <sup>2</sup> )	Private Amenity required (m <sup>2</sup> )	Storage (m <sup>2</sup> )	Storage required (m <sup>2</sup> )	Aspect
<b>Level O4</b>																
<b>Block O1</b>																
	4.01	EE	1 Bed	53.3	45	11.6	11.4	11.6	11.4	28.2	23	5.1	5	4.3	3	E
	4.02	B	1 Bed	54.3	45	11.6	11.4	11.6	11.4	26.6	23	6.5	5	3.2	3	E
	4.03	B (h)	1 Bed	54	45	11.6	11.4	11.6	11.4	26.6	23	6.5	5	3.2	3	E
	4.04	C	2 Bed (4 Person)	81.5	73	13.1	13	24.7	24.4	29.7	30	7	7	6.9	6	E
						11.6	11.4									
	4.05	D	3 Bed	120.3	90	13	13	35.8	31.5	46.4	34	11.9	9	10.1	9	EWS
						12.2	11.4									
						10.6	7.1									
	4.06	C	2 Bed (4 Person)	81.7	73	13.1	13	24.7	24.4	29.7	30	7.2	7	6.1	6	W
						11.6	11.4									
	4.07	C (h)	2 Bed (4 Person)	81.4	73	13.1	13	24.7	24.4	29.7	30	7.2	7	6.1	6	W
						11.6	11.4									
	4.08	E	1 Bed	49.2	45	11.4	11.4	11.4	11.4	24.2	23	5.3	5	4.3	3	W
	4.09	E (h)	1 Bed	49.6	45	11.4	11.4	11.4	11.4	23.8	23	5.6	5	4.2	3	W
	4.10.	F	2 Bed (4 Person)	81.4	73	13	13	24.4	24.4	29.6	30	7.6	7	6.8	6	NW
						11.4	11.4									
	4.11	FF	2 Bed (3 Person)	72.1	63	13	13	20.4	20.1	27.1	28	8.5	6	6.2	5	NS
						7.4	7.1									
	4.12	H	1 Bed	55.8	45	11.5	11.4	11.5	11.4	23	23	6.4	5	4.2	3	NS
	4.13	H (h)	1 Bed	55.8	45	11.5	11.4	11.5	11.4	23.1	23	6.5	5	4.2	3	NS
	4.14	H	1 Bed	55.8	45	11.5	11.4	11.5	11.4	23.1	23	6.4	5	4.2	3	NS
	4.15	FF (h)	2 Bed (3 Person)	75.2	63	13.6	13	21.7	20.1	28	28	9.4	6	6.7	5	NS
						8.1	7.1									
	4.16	K	2 Bed (3 Person)	75.9	63	13	13	22.1	20.1	30	28	6.5	6	5.7	5	NE
						9.1	7.1									
	4.17	E	1 Bed	50.1	45	11.2	11.4	11.2	11.4	24.3	23	5.5	5	4.3	3	E
	4.18	E (h)	1 Bed	50.6	45	11.2	11.4	11.2	11.4	24.4	23	5.4	5	4.3	3	E
	4.19	E	1 Bed	50.7	45	11.3	11.4	11.3	11.4	24.4	23	5.1	5	4.3	3	E
	4.20.	E (h)	1 Bed	50.7	45	11.3	11.4	11.3	11.4	24.4	23	5.1	5	4.3	3	E
	4.21	XX	3 Bed	105.3	90	17.4	13	36.7	31.5	33.5	34	12.5	9	10.7	9	EW
						12.1	11.4									
						7.2	7.1									
	4.22	C	2 Bed (4 Person)	82.1	73	13.1	13	24.7	24.4	30	30	7.9	7	6.9	6	W
						11.6	11.4									
	4.23	B (h)	1 Bed	54.4	45	11.4	11.4	11.4	11.4	26.7	23	5.2	5	3.3	3	W
	4.24	LL	1 Bed	53.3	45	12.1	13	12.1	11.4	27.6	23	5.3	5	4.1	3	W
<b>Block O2</b>																
	4.25	MM	2 Bed (4 Person)	89.4	73	13.5	13	26.4	24.4	38.1	30	8.7	7	6.1	6	E
						12.9	11.4									
	4.26	R	2 Bed (4 Person)	81.4	73	13	13	24.5	24.4	30	30	7.6	7	7.1	6	E
						11.5	11.4									
	4.27	YY	2 Bed (3 Person)	72	63	13	13	20.1	20.1	29.8	28	7	6	5	5	ES
						7.1	7.1									
	4.28	ZZ	2 Bed (4 Person)	101.5	73	13.3	13	25	24.4	44.8	30	33.3	7	6	6	EW
						11.7	11.4									
	4.29	C	2 Bed (4 Person)	82.1	73	13	13	24.5	24.4	30	30	7.2	7	7.1	6	W
						11.5	11.4									
	4.30.	C (h)	2 Bed (4 Person)	81.7	73	13	13	24.5	24.4	30	30	7.2	7	7.1	6	W
						11.5	11.4									
	4.31	NN	1 Bed	63.1	45	11.5	11.4	11.5	11.4	35.1	23	5	5	6.4	3	W
	4.32	PP	3 Bed	110.7	90	13.1	13	34.6	31.5	34.1	34	9.7	9	11.6	9	NW

# 4.2 APPENDIX B - Housing Quality Assessment Schedule



					11.4	11.4										
					10.1	7.1										
4.33	QQ	2 Bed (4 Person)	83.4	73	13.3	13	24.9	24.4	34.5	30	11.3	7	7.2	6	NS	
					11.6	11.4										
4.34	H	1 Bed	55.9	45	11.5	11.4	11.5	11.4	23	23	7	5	4.2	3	NS	
4.35	H (h)	1 Bed	55.8	45	11.5	11.4	11.5	11.4	23.1	23	6.6	5	4.2	3	NS	
4.36	H	1 Bed	55.8	45	11.5	11.4	11.5	11.4	23.1	23	6.9	5	4.2	3	NS	
4.37	QQ (h)	2 Bed (4 Person)	80.1	73	13	13	24.4	24.4	30.1	30	10.5	7	6	6	NS	
					11.4	11.4										
4.38	RR	1 Bed	47.7	45	11.4	11.4	11.4	11.4	23	23	5.5	5	3.2	3	N	
4.39	SS	2 Bed (4 Person)	82.2	73	13	13	24.4	24.4	30.6	30	8.4	7	4.9	6	NE	
					11.4	11.4										
4.40.	R	2 Bed (4 Person)	82.7	73	13	13	24.5	24.4	30	30	7	7	7.1	6	E	
					11.5	11.4										
4.41	AAA	3 Bed	104.4	90	13.4	13	37.2	31.5	34.2	34	9	9	9.1	9	E	
					12	11.4										
4.42	BBB	2 Bed (4 Person)	85.2	73	13.9	13	25.4	24.4	30.1	30	13	7	7	6	EW	
					11.5	11.4										
4.43	CCC	1 Bed	57.5	45	13.1	11.4	13.1	11.4	23.2	23	12.3	5	3.5	3	W	
4.44	WW	1 Bed	64.5	45	13.3	11.4	#REF!	11.4	31.2	23	9.6	5	3.4	3	W	
<b>Total</b>				3131.6												
Level	Unit Number	Unit Type	No. Of Beds	Unit Area (m <sup>2</sup> )	Area required (m <sup>2</sup> )	Bedroom Area (m <sup>2</sup> )	Bedroom Area required (m <sup>2</sup> )	Bedroom Aggregate Area (m <sup>2</sup> )	Required Bedroom Agg. (m <sup>2</sup> )	Living Area (m <sup>2</sup> )	Living Area required (m <sup>2</sup> )	Private Amenity (m <sup>2</sup> )	Private Amenity required (m <sup>2</sup> )	Storage (m <sup>2</sup> )	Storage required (m <sup>2</sup> )	Aspect
<b>Level O5</b>																
<b>Block O1</b>																
	5.01	EE	1 Bed	53.5	45	11.6	11.4	11.6	11.4	28.2	23	5.1	5	4.3	3	E
	5.02	B	1 Bed	54.1	45	11.6	11.4	11.6	11.4	26.6	23	6.5	5	3.2	3	E
	5.03	B (h)	1 Bed	54	45	11.6	11.4	11.6	11.4	26.6	23	6.5	5	3.2	3	E
	5.04	C	2 Bed (4 Person)	81.5	73	13.1	13	24.7	24.4	29.7	30	7	7	6.9	6	E
						11.6	11.4									
	5.05	D	3 Bed	120.3	90	13	13	35.8	31.5	46.4	34	11.9	9	10.1	9	EWS
						12.2	11.4									
	5.06	C	2 Bed (4 Person)	81.7	73	13.1	13	24.7	24.4	29.7	30	7.2	7	6.1	6	W
						11.6	11.4									
	5.07	C (h)	2 Bed (4 Person)	81.5	73	13.1	13	24.7	24.4	29.7	30	7.2	7	6.1	6	W
						11.6	11.4									
	5.08	E	1 Bed	49.2	45	11.4	11.4	11.4	11.4	24.2	23	5.3	5	4.3	3	W
	5.09	E (h)	1 Bed	49.6	45	11.4	11.4	11.4	11.4	23.8	23	5.6	5	4.2	3	W
	5.10.	F	2 Bed (4 Person)	81.4	73	13	13	24.4	24.4	29.6	30	7.6	7	6.8	6	NW
						11.4	11.4									
	5.11	FF	2 Bed (3 Person)	72.1	63	13	13	20.4	20.1	27.1	28	8.5	6	6.2	5	NS
						7.4	7.1									
	5.12	H	1 Bed	55.8	45	11.5	11.4	11.5	11.4	23	23	6.4	5	4.2	3	NS
	5.13	H (h)	1 Bed	55.8	45	11.5	11.4	11.5	11.4	23.1	23	6.5	5	4.2	3	NS
	5.14	H	1 Bed	55.8	45	11.5	11.4	11.5	11.4	23.1	23	6.4	5	4.2	3	NS
	5.15	FF (h)	2 Bed (3 Person)	75.2	63	13.6	13	21.7	20.1	28	28	9.4	6	6.7	5	NS
						8.1	7.1									
	5.16	K	2 Bed (3 Person)	75.9	63	13	13	22.1	20.1	30	28	6.5	6	5.7	5	NE
						9.1	7.1									
	5.17	E	1 Bed	50	45	11.2	11.4	11.2	11.4	24.3	23	5.5	5	4.3	3	E
	5.18	E (h)	1 Bed	50.7	45	11.2	11.4	11.2	11.4	24.4	23	5.4	5	4.3	3	E
	5.19	E	1 Bed	50.7	45	11.3	11.4	11.3	11.4	24.4	23	5.1	5	4.3	3	E
	5.20.	E (h)	1 Bed	50.7	45	11.3	11.4	11.3	11.4	24.4	23	5.1	5	4.3	3	E
	5.21	XX	3 Bed	105.3	90	17.4	13	36.7	31.5	33.5	34	40	9	10.7	9	EW
						12.1	11.4									
	5.22	C	2 Bed (4 Person)	82.1	73	13.1	13	24.7	24.4	30	30	5.4	7	6.9	6	W
						11.6	11.4									
	5.23	B (h)	1 Bed	54.4	45	11.4	11.4	11.4	11.4	26.7	23	5.2	5	3.3	3	W
	5.24	LL	1 Bed	53.3	45	12.1	11.4	12.1	11.4	27.6	23	5.6	5	4.1	3	W
<b>Block O2</b>																
	5.25	MM	2 Bed (4 Person)	89.7	73	13.5	13	26.4	24.4	38.1	30	8.7	7	6.1	6	E
						12.9	11.4									
	5.26	R	2 Bed (4 Person)	81.4	73	13	13	24.5	24.4	30	30	7.6	7	7.1	6	E
						11.5	11.4									
	5.27	YY	2 Bed (3 Person)	72	63	13	13	20.1	20.1	29.8	28	9.8	6	5	5	ES
						7.1	7.1									
	5.28	ZZ	2 Bed (4 Person)	101.5	73	13.3	13	25	24.4	44.8	30	33.3	7	6	6	EW

# 4.2 APPENDIX B - Housing Quality Assessment Schedule



5.29	C	2 Bed (4 Person)	82.1	73	11.7	11.4	13	13	24.5	24.4	30	30	7.2	7	7.1	6	W
							11.5	11.4									
5.30.	C (h)	2 Bed (4 Person)	81.7	73	13	13	13	13	24.5	24.4	30	30	7.2	7	7.1	6	W
							11.5	11.4									
5.31	NN	1 Bed	63.1	45	11.5	11.4	11.5	11.4	11.5	11.4	35.1	23	5	5	6.4	3	W
5.32	PP	3 Bed	110.7	90	13.1	13	13	13	34.6	31.5	34.1	34	9.7	9	11.6	9	NW
							11.4	11.4									
							10.1	7.1									
5.33	QQ	2 Bed (4 Person)	85.6	73	13.3	13	13	13	24.9	24.4	34.5	30	11.3	7	7.2	6	NS
							11.6	11.4									
5.34	H	1 Bed	55.9	45	11.5	11.4	11.5	11.4	11.5	11.4	23	23	7	5	4.2	3	NS
5.35	H (h)	1 Bed	55.8	45	11.5	11.4	11.5	11.4	11.5	11.4	23.1	23	6.6	5	4.2	3	NS
5.36	H	1 Bed	55.8	45	11.5	11.4	11.5	11.4	11.5	11.4	23.1	23	6.9	5	4.2	3	NS
5.37	QQ (h)	2 Bed (4 Person)	80.1	73	13	13	13	13	24.4	24.4	30	30	10	7	6	6	NS
							11.4	11.4									
5.38	RR	1 Bed	47.7	45	11.4	11.4	11.4	11.4	11.4	11.4	23	23	5.5	5	3.2	3	N
5.39	SS	2 Bed (4 Person)	82.2	73	13	13	13	13	24.4	24.4	30.6	30	8.4	7	5.1	6	NE
							11.4	11.4									
5.40.	R	2 Bed (4 Person)	82.7	73	13	13	13	13	24.5	24.4	30	30	7	7	7.1	6	E
							11.5	11.4									
5.41	AAA	3 Bed	104.4	90	13.4	13	13	13	37.2	31.5	34.2	34	9	9	9.1	9	E
							12	11.4									
							11.8	7.1									
5.42	BBB	2 Bed (4 Person)	85.2	73	13.9	13	13	13	25.4	24.4	30.1	30	20.4	7	7	6	EW
							11.5	11.4									
5.43	CCC	1 Bed	57.5	45	13.1	11.4	13.1	11.4	13.1	11.4	23.2	23	12.3	5	3.5	3	W
5.44	WW	1 Bed	64.8	45	13.3	11.4	13.3	11.4	13.3	11.4	31.2	23	9.6	5	3.4	3	W
<b>Total</b>			3134.5														
Level	Unit Number	Unit Type	No. Of Beds	Unit Area (m <sup>2</sup> )	Area required (m <sup>2</sup> )	Bedroom Area (m <sup>2</sup> )	Bedroom Area required (m <sup>2</sup> )	Bedroom Aggregate Area (m <sup>2</sup> )	Bedroom Agg. (m <sup>2</sup> )	Living Area (m <sup>2</sup> )	Living Area required (m <sup>2</sup> )	Private Amenity (m <sup>2</sup> )	Private Amenity required (m <sup>2</sup> )	Storage (m <sup>2</sup> )	Storage required (m <sup>2</sup> )	Aspect	
<b>Level O6</b>																	
<b>Block O1</b>																	
6.01	DDD	1 Bed	53.8	45	11.4	11.4	11.4	11.4	11.4	23.7	23	12.6	5	3.1	3	SE	
6.02	EEE	2 Bed (4 Person)	113.2	73	13.1	13	13	13	24.5	24.4	50.8	30	18.2	7	7.9	6	SW
							11.4	11.4									
6.03	FFF	2 Bed (4 Person)	79.2	73	13.3	13	13	13	24.7	24.4	30.3	30	30.2	7	7.2	6	NW
							11.4	11.4									
6.04	QQQ	1 Bed	54.7	45	11.6	11.4	11.6	11.4	11.6	11.4	24	23	11.2	5	3.1	3	NS
6.05	H	1 Bed	56.1	45	11.5	11.4	11.5	11.4	11.5	11.4	23.1	23	6.6	5	4.2	3	NS
6.06	H (h)	1 Bed	55.8	45	11.5	11.4	11.5	11.4	11.5	11.4	23.1	23	6.8	5	4.2	3	NS
6.07	H	1 Bed	55.8	45	11.5	11.4	11.5	11.4	11.5	11.4	23.1	23	6.8	5	4.2	3	NS
6.08	UUU	1 Bed	57.9	45	11.5	11.4	11.5	11.4	11.5	11.4	30.8	23	5.4	5	3	3	NS
6.09	HHH	2 Bed (4 Person)	91.3	73	16.1	13	13	13	30.7	24.4	30.4	30	35.1	7	6.4	6	NE
							14.6	11.4									
6.10.	JJJ	2 Bed (4 Person)	106.7	73	15	13	13	13	26.8	24.4	47.4	30	20.1	7	6.2	6	SE
							11.8	11.4									
6.11	KKK	2 Bed (4 Person)	91.3	73	13.5	13	13	13	25.1	24.4	37.6	30	29.2	7	8.5	6	SW
							11.6	11.4									
<b>Block O2</b>																	
6.12	LLL	1 Bed	55	45	13.1	11.4	13.1	11.4	13.1	11.4	22.8	23	14.4	5	3.2	3	EW
6.13	MMM	2 Bed (4 Person)	100.3	73	13	13	13	13	24.7	24.4	34.2	30	18.8	7	7.2	6	W
							11.7	11.4									
6.14	NNN	2 Bed (4 Person)	86.9	73	13.4	13	13	13	24.8	24.4	30.7	30	33.3	7	6.5	6	NW
							11.4	11.4									
6.15	QQ	2 Bed (4 Person)	84.2	73	13.3	13	13	13	24.9	24.4	34.5	30	7	7	8.6	6	NS
							11.6	11.4									
6.16	H	1 Bed	55.9	45	11.8	11.4	11.8	11.4	11.8	11.4	23.1	23	6.7	5	3.8	3	NS
6.17	H (h)	1 Bed	55.8	45	11.9	11.4	11.9	11.4	11.9	11.4	23.1	23	6.6	5	3.8	3	NS
6.18	H	1 Bed	55.8	45	11.8	11.4	11.8	11.4	11.8	11.4	23.1	23	6.9	5	3.8	3	NS
6.19	QQ (h)	2 Bed (4 Person)	79.3	73	13.5	13	13	13	24.9	24.4	32.4	30	10	7	6.8	6	NS
							11.4	11.4									
6.20.	PPP	2 Bed (3 Person)	74.9	63	13	13	13	13	20.4	20.1	28	28	40	6	7.8	5	NE
							7.4	7.1									
6.21	QQQ	3 Bed	117.9	90	13	13	13	13	35.8	31.5	39.6	34	25.1	9	10.2	9	E
							11.4	11.4									
							11.4	7.1									
6.22	LLL (h)	1 Bed	55.2	45	13	11.4	13	11.4	13	11.4	22.2	23	13.8	5	3.2	3	W
<b>Total</b>			1637														
<b>Overall Total</b>			14425.8														



## 4.2 APPENDIX B - Housing Quality Assessment Schedule



Town houses	Unit Number	Unit Type	No. Of Beds	Unit Area (m <sup>2</sup> )	Area required (m <sup>2</sup> )	Bedroom Area (m <sup>2</sup> )	Bedroom Area required (m <sup>2</sup> )	Bedroom Aggregate Area (m <sup>2</sup> )	Bedroom Agg. (m <sup>2</sup> )	Living Area (m <sup>2</sup> )	Living Area required (m <sup>2</sup> )	Private Amenity (m <sup>2</sup> )	Private Amenity required (m <sup>2</sup> )	Storage (m <sup>2</sup> )	Storage required (m <sup>2</sup> )	Aspect
<b>Ground Floor &amp; Lower Floor</b>																
	1A	1	1 Bed	57.8	45	12	11.4	12	11.4	23	23	8.5	5	3.1	3	EW
	1B	1 (h)	1 Bed	58.4	45	12	11.4	12	11.4	23	23	8.5	5	3.1	3	EW
<b>Duplex</b>	2A	3	2 Bed (4 Person)	116.8	73	14.3	13	26.3	24.4	30	30	8.4	7	6.8	6	EW
						12	11.4									
<b>Duplex</b>	2B	3 (h)	2 Bed (4 Person)	115.6	73	14.3	13	26.3	24.4	30	30	8.4	7	6.8	6	EW
						12	11.4									
<b>Duplex</b>	3A	4	2 Bed (4 Person)	127.2	73	15.3	13	28.3	24.4	37.1	30	16	7	7	6	EW
						13	11.4									
<b>Duplex</b>	4A	4 (h)	2 Bed (4 Person)	124.1	73	15.2	13	28.9	24.4	36.5	30	14.4	7	7	6	EW
						13.7	11.4									
	4B	6	1 Bed	60.7	45	13.6	11.4	13.6	11.4	26.8	23	8.6	5	4.5	3	EW
	5A	6 (h)	1 Bed	59.5	45	12.8	11.4	12.8	11.4	26.8	23	7.7	5	4.5	3	EW
	6A	7	1 Bed	61.4	45	11.9	11.4	11.9	11.4	23.2	23	5	5	4.3	3	NS
	6B	7 (h)	1 Bed	62	45	11.9	11.4	11.9	11.4	23.2	23	5	5	4.3	3	NS
	6C	7	1 Bed	61.3	45	11.5	11.4	11.5	11.4	23.8	23	5	5	4.3	3	NS
<b>First Floor &amp; Second Floor</b>																
<b>Duplex</b>	1C	2	2 Bed (4 Person)	98.4	73	15	13	28.3	24.4	30.1	30	8.1	7	6	6	EW
						13.3										
<b>Duplex</b>	1D	2 (h)	2 Bed (4 Person)	99.4	73	15	13	28.3	24.4	30.1	30	8.1	7	6	6	EW
						13.3										
<b>Duplex</b>	2C	2	2 Bed (4 Person)	99.4	73	15	13	28.3	24.4	30.1	30	8.4	7	6	6	EW
						13.3										
<b>Duplex</b>	2D	2 (h)	2 Bed (4 Person)	98.4	73	15	13	28.3	24.4	30.1	30	8.4	7	6	6	EW
						13.3										
<b>Duplex</b>	3B	5	2 Bed (4 Person)	109.8	73	13.4	13	26.4	24.4	30.2	30	8.7	7	10.3	6	EW
						13										
<b>Duplex</b>	4C	5 (h)	2 Bed (4 Person)	109.2	73	13.4	13	26.4	24.4	30.2	30	8.7	7	10.3	6	EW
						13										
<b>Duplex</b>	4D	5	2 Bed (4 Person)	109.2	73	13.4	13	26.4	24.4	30.2	30	8.7	7	10.3	6	EW
						13										
<b>Duplex</b>	5B	5 (h)	2 Bed (4 Person)	108.6	73	13.4	13	26.4	24.4	30.2	30	8.7	7	10.3	6	EW
						13										
<b>Duplex</b>	6D	8	2 Bed (4 Person)	98.4	73	15	13	28.3	24.4	30.4	30	8.1	7	6	6	NS
						13.3										
<b>Duplex</b>	6E	8 (h)	2 Bed (4 Person)	99.4	73	15	13	28.3	24.4	30.4	30	8.1	7	6	6	NS
						13.3										
<b>Duplex</b>	6F	8	2 Bed (4 Person)	98.4	73	15	13	28.3	24.4	30.4	30	8.1	7	6	6	NS
						13.3										

# 4.3 APPENDIX C - Unit Aspect Drawings



DUAL ASPECT UNITS

SINGLE ASPECT UNITS

SINGLE ASPECT NORTH FACING UNITS

## Second Floor Plan



# 4.3 APPENDIX C - Unit Aspect Drawings



DUAL ASPECT UNITS

SINGLE ASPECT UNITS

SINGLE ASPECT NORTH FACING UNITS

## Third Floor Plan



# 4.3 APPENDIX C - Unit Aspect Drawings



DUAL ASPECT UNITS

SINGLE ASPECT UNITS

SINGLE ASPECT NORTH FACING UNITS

## Fourth Floor Plan



# 4.3 APPENDIX C - Unit Aspect Drawings



- DUAL ASPECT UNITS
- SINGLE ASPECT UNITS
- SINGLE ASPECT NORTH FACING UNITS

## Fifth Floor Plan



# 4.3 APPENDIX C - Unit Aspect Drawings



DUAL ASPECT UNITS

SINGLE ASPECT UNITS

SINGLE ASPECT NORTH FACING UNITS

## Sixth Floor Plan



# 4.3 APPENDIX C - Unit Aspect Drawings

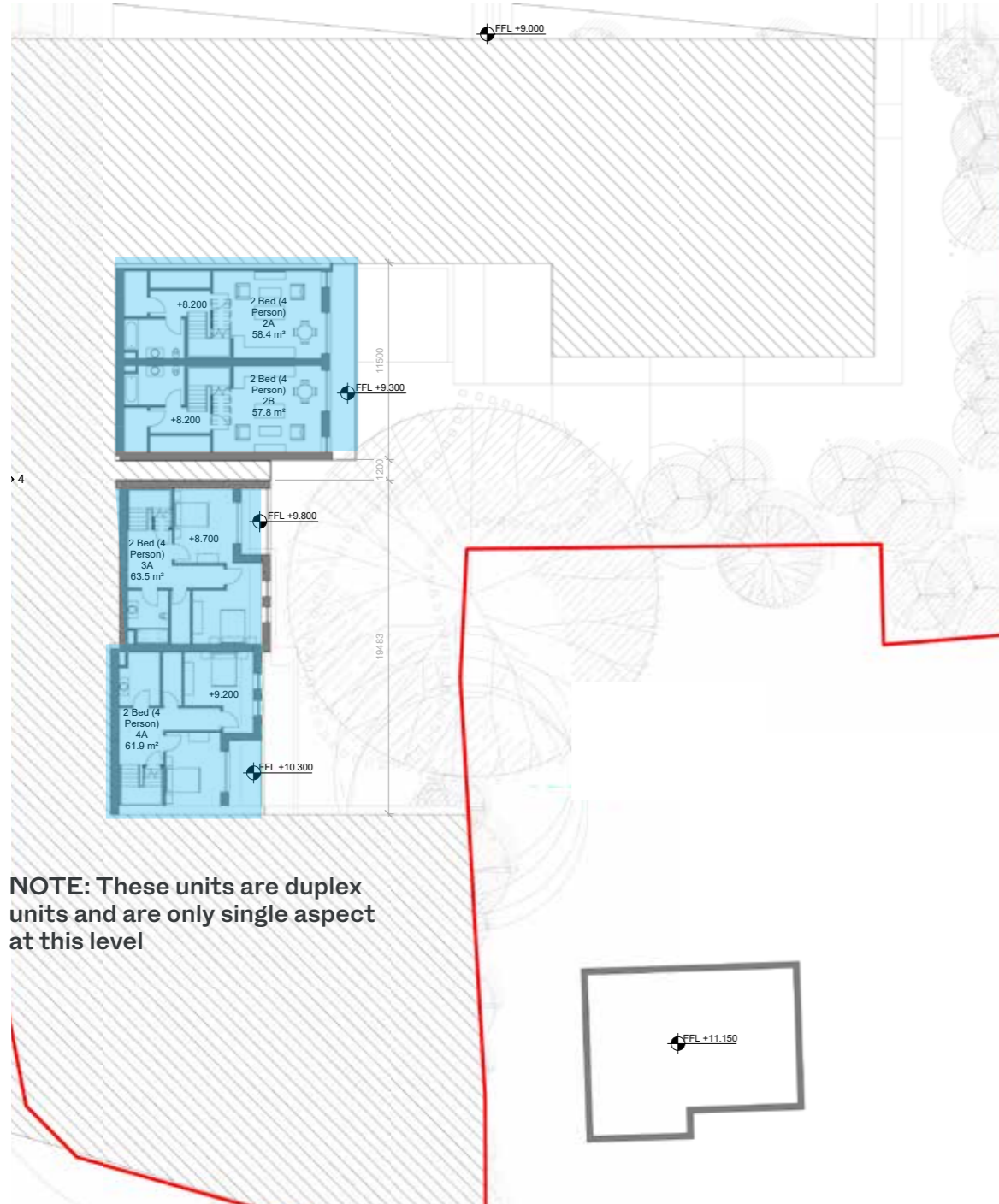


## Townhouses

DUAL ASPECT UNITS

SINGLE ASPECT UNITS

SINGLE ASPECT NORTH FACING UNITS



Level -01



Level 00

# 4.3 APPENDIX C - Unit Aspect Drawings



DUAL ASPECT UNITS

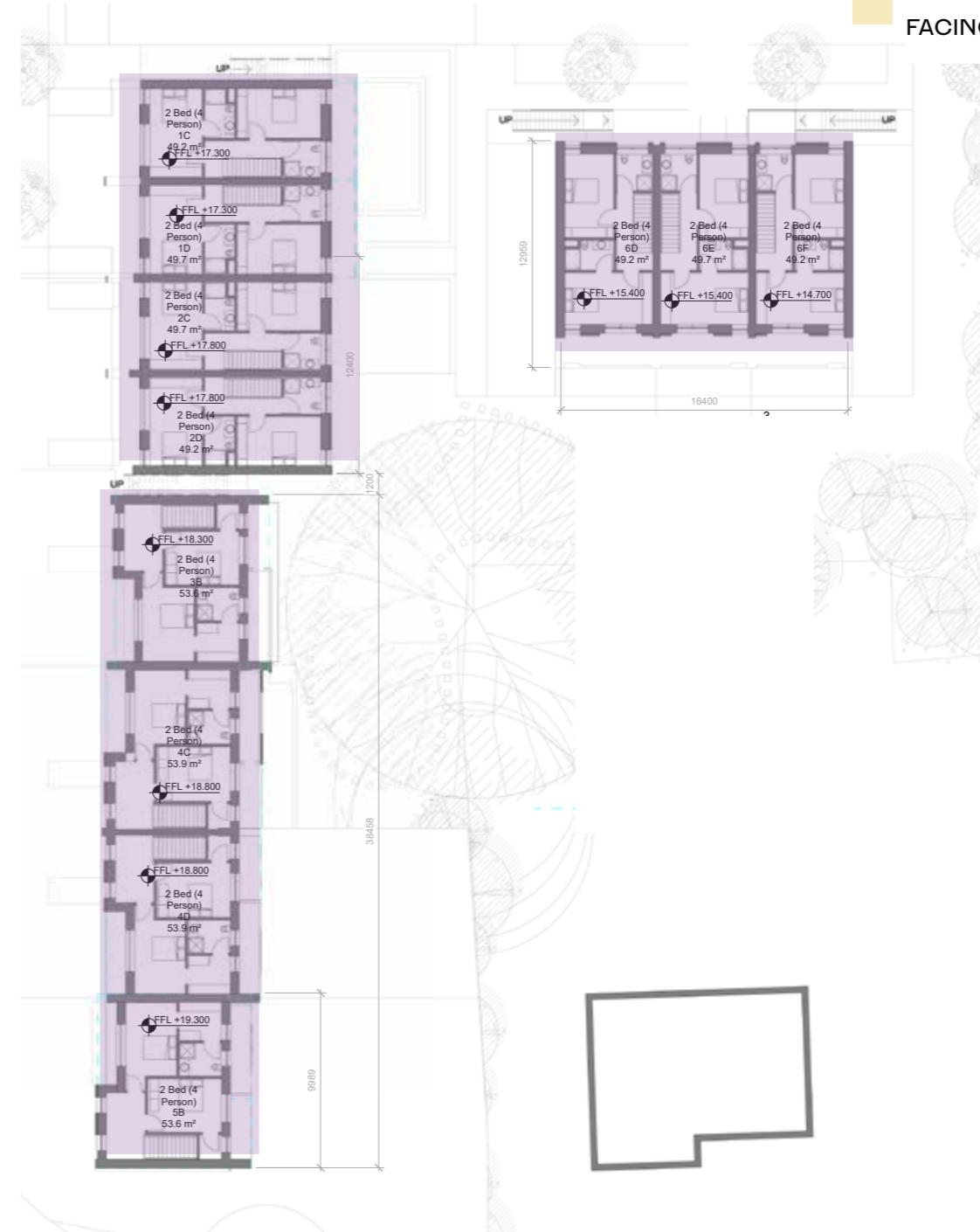
SINGLE ASPECT UNITS

SINGLE ASPECT NORTH FACING UNITS

## Townhouses



Level 01



Level 02

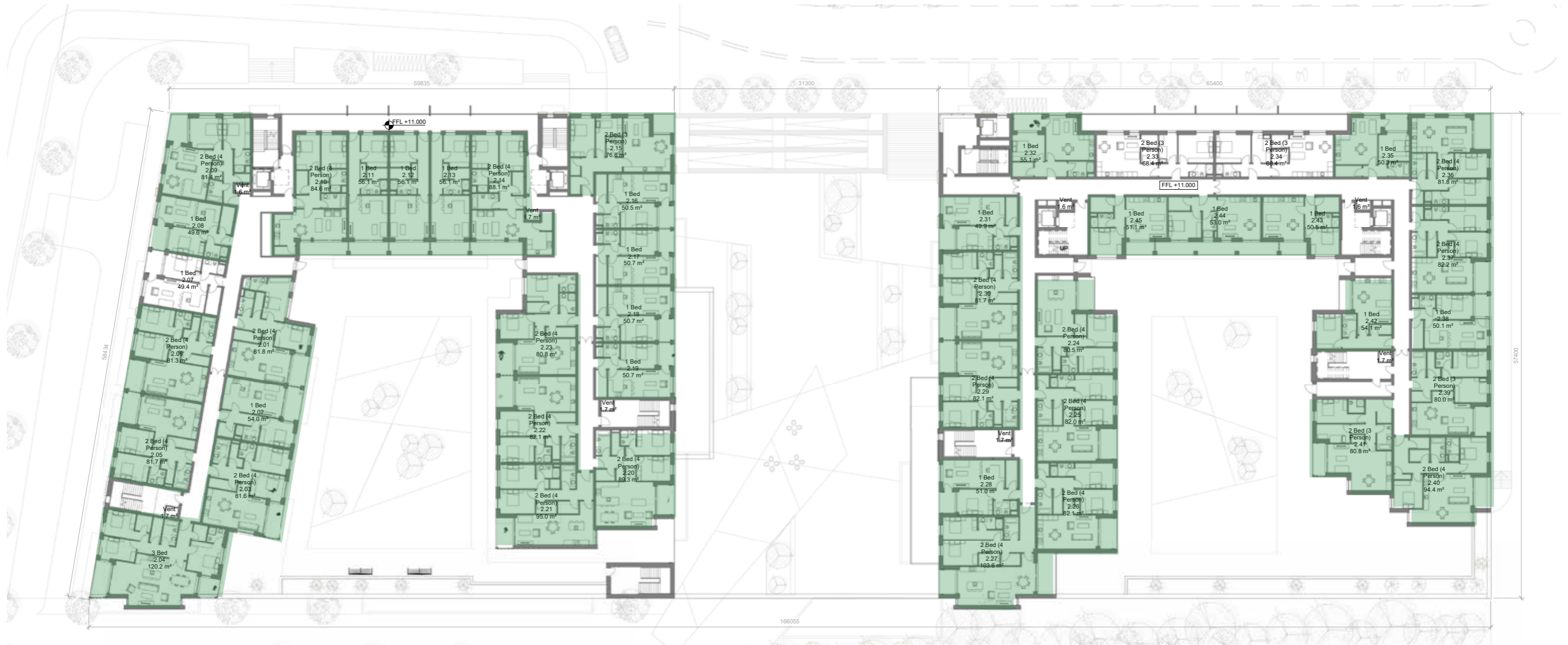


# 4.4 APPENDIX D - Unit Area Drawings



## Unit Areas - Exceed 10% Second Floor Plan

UNIT AREA EXCEEDS 10%



**Overall total: 42 units exceed the 10% area requirement**

**Block O1: 22 units**

**Block O2: 20 units**

# 4.4 APPENDIX D - Unit Area Drawings



## Unit Areas - Exceed 10% Third Floor Plan

UNIT AREA EXCEEDS 10%



**Overall total: 42 units exceed the 10% area requirement**

**Block O1: 23 units**

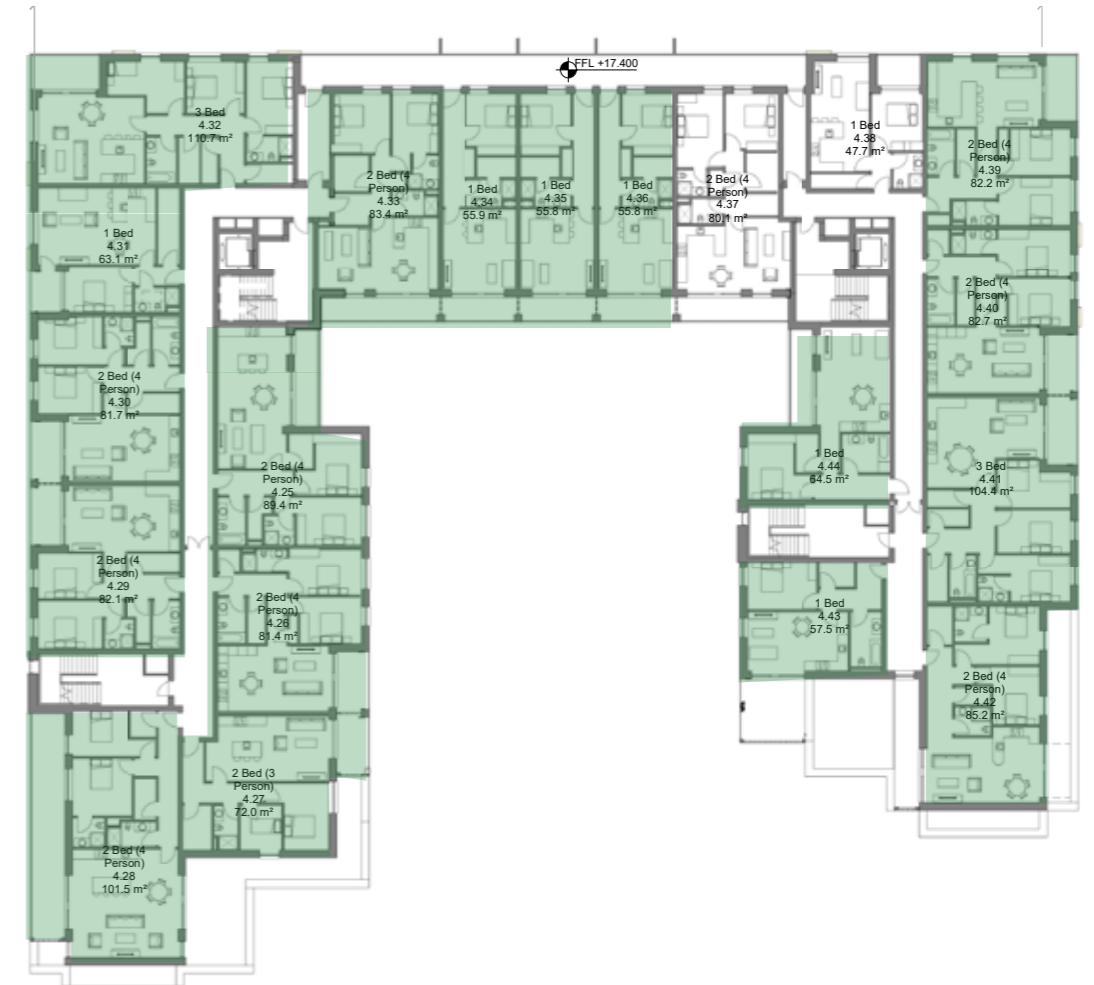
**Block O2: 18 units**

# 4.4 APPENDIX D - Unit Area Drawings



## Unit Areas - Exceed 10% Fourth Floor Plan

UNIT AREA EXCEEDS 10%



**Overall total: 42 units exceed the 10% area requirement**

**Block 01: 23 units**

**Block 02: 18 units**

# 4.4 APPENDIX D - Unit Area Drawings



## Unit Areas - Exceed 10% Fifth Floor Plan

UNIT AREA EXCEEDS 10%



**Overall total: 42 units exceed the 10% area requirement**

**Block O1: 23 units**

**Block O2: 18 units**

# 4.4 APPENDIX D - Unit Area Drawings



## Unit Areas - Exceed 10% Sixth Floor Plan

UNIT AREA EXCEEDS 10%



**Overall total: 22 units exceed the 10% area requirement**

**Block O1: 11 units**

**Block O2: 11 units**

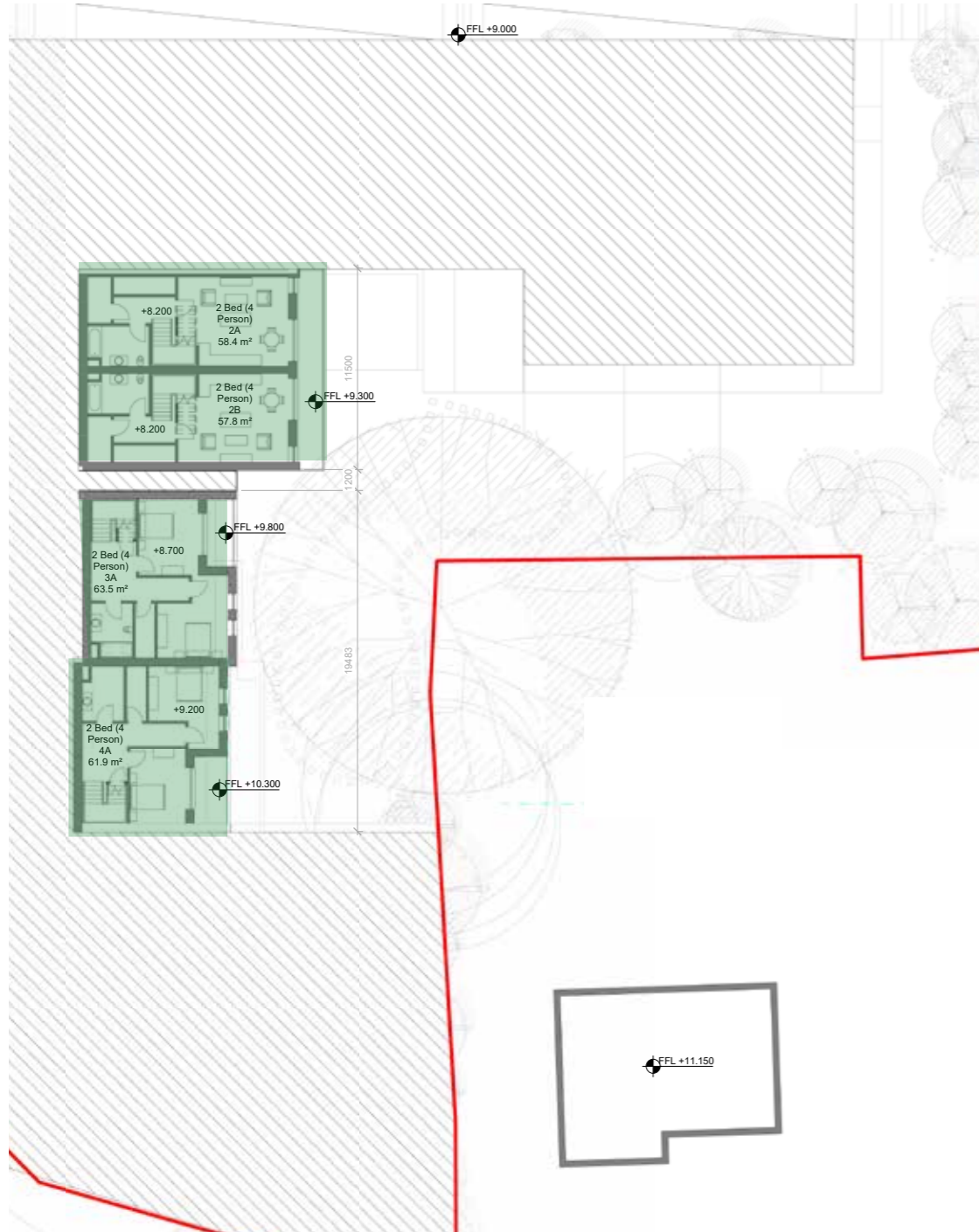
# 4.4 APPENDIX D - Unit Area Drawings



## Unit Areas - Exceed 10%

Townhouses - All 22 units exceed the 10% area

UNIT AREA EXCEEDS 10%



Level -01



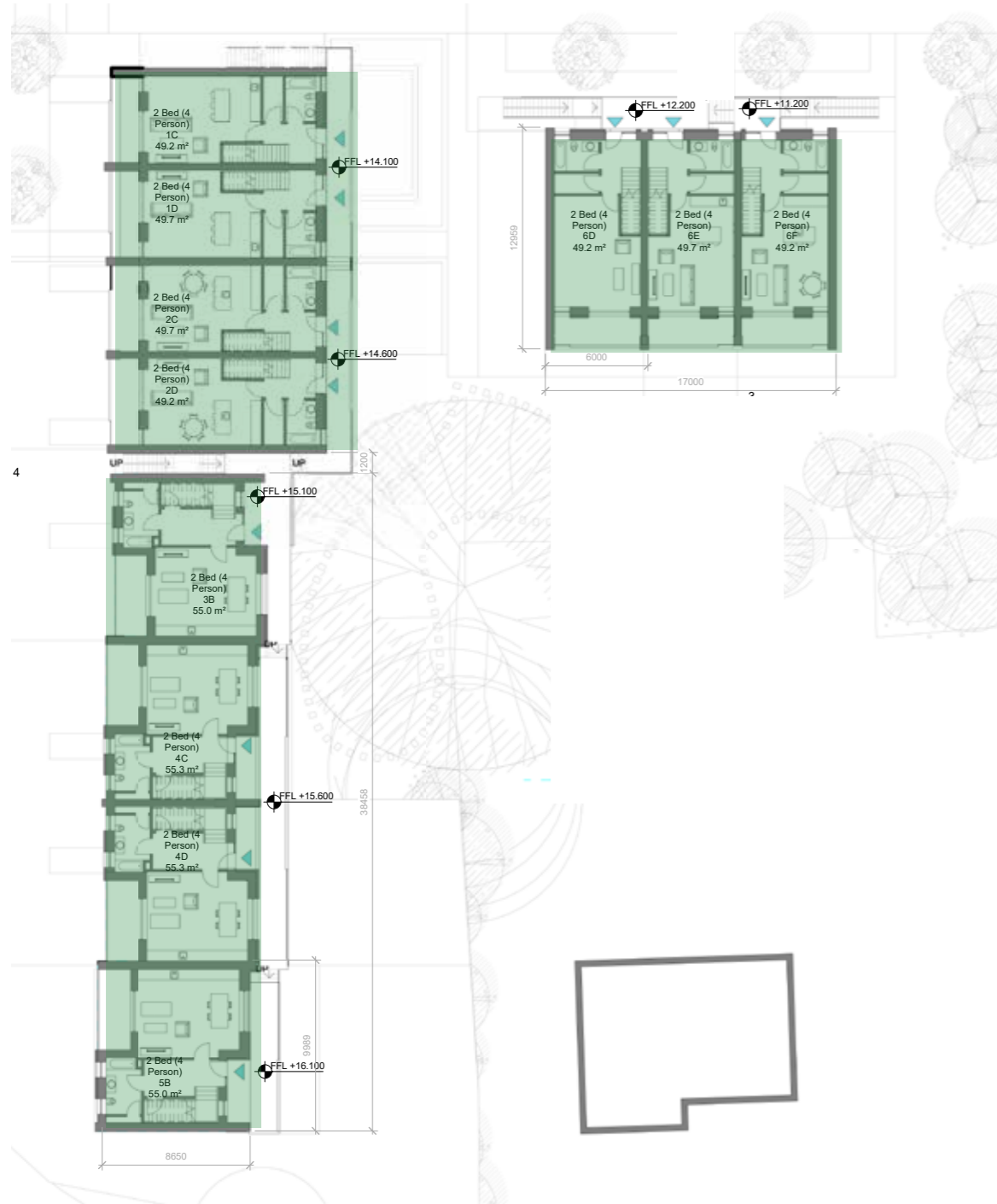
Level 00

# 4.4 APPENDIX D - Unit Area Drawings

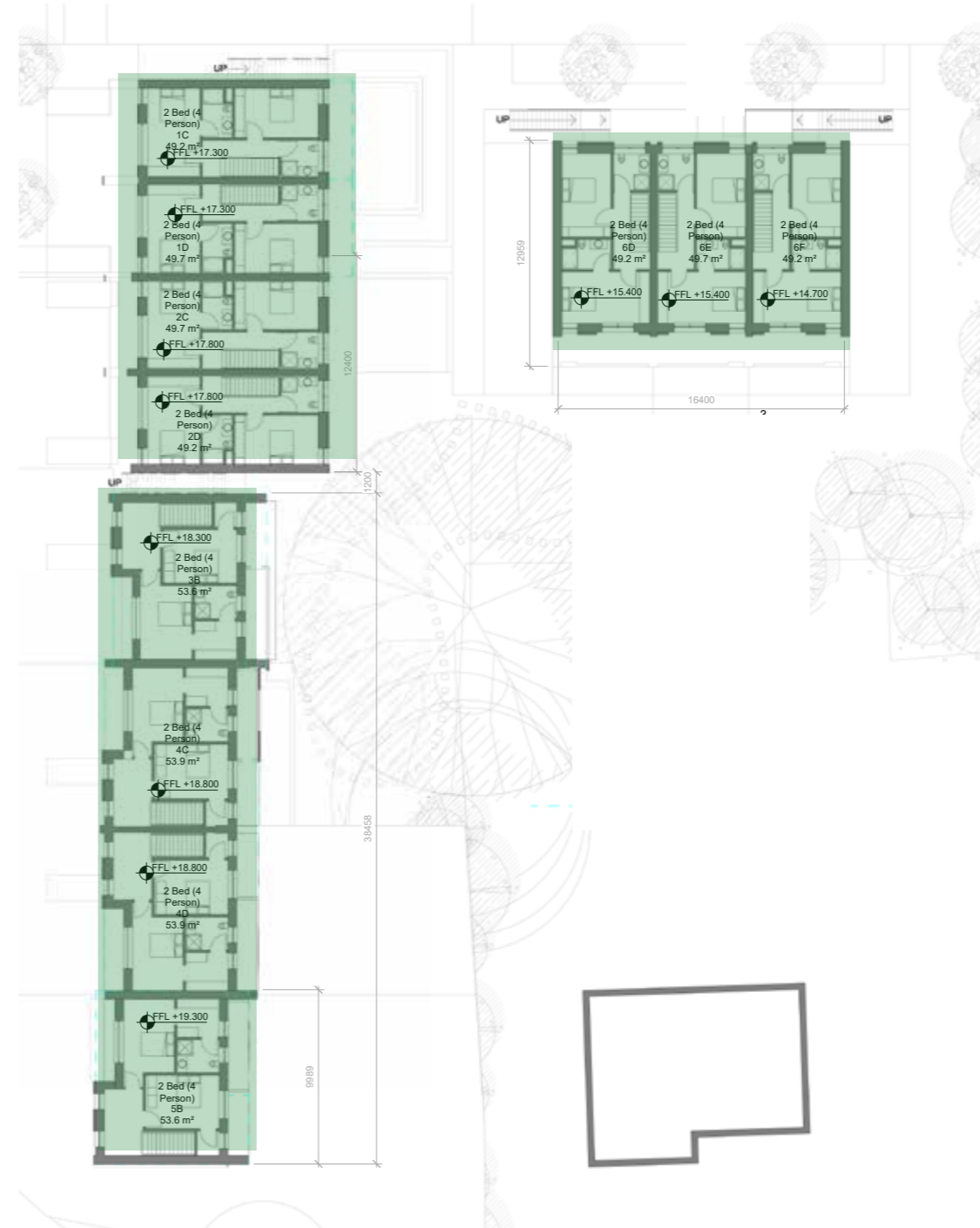


## Unit Areas - Exceed 10% Townhouses

UNIT AREA EXCEEDS 10%



Level 01



Level 02